

Landscape and Visual Appraisal

for Tonbridge & Malling Borough Council



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East Peckham

Settlements: East Peckham, Snoll Hatch and Hale Street

Settlement overview

East Peckham, Snoll Hatch and Hale Street are three separate settlements but located close together. The origin of all three have their roots in the close association with the surrounding rich agricultural land at within the broad vale of the River Madway. Largely Victorian in origin, they have grown in the post-war period, East Peckham particularly so, with several late 20th century housing infills. Predominantly two-storey housing in nature, with some short terraces but otherwise largely detached and semi-detached dwellings. The settlements have an informal structure largely linear in form, along the various roads, and have a loose and mainly open boundary relationship with the rural context.



Sites location

Base image: Google Maps (2025)

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 58751 - Land West of Hale Street

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located off Hale Street and has a direct frontage onto the road. It is currently an overgrown area with scrub and trees, with a stream running along its northern boundary. A Public Right of Way (PRoW) follows the full extent of the northern edge of the site. The southern boundary adjoins the rear gardens of neighbouring residential properties.



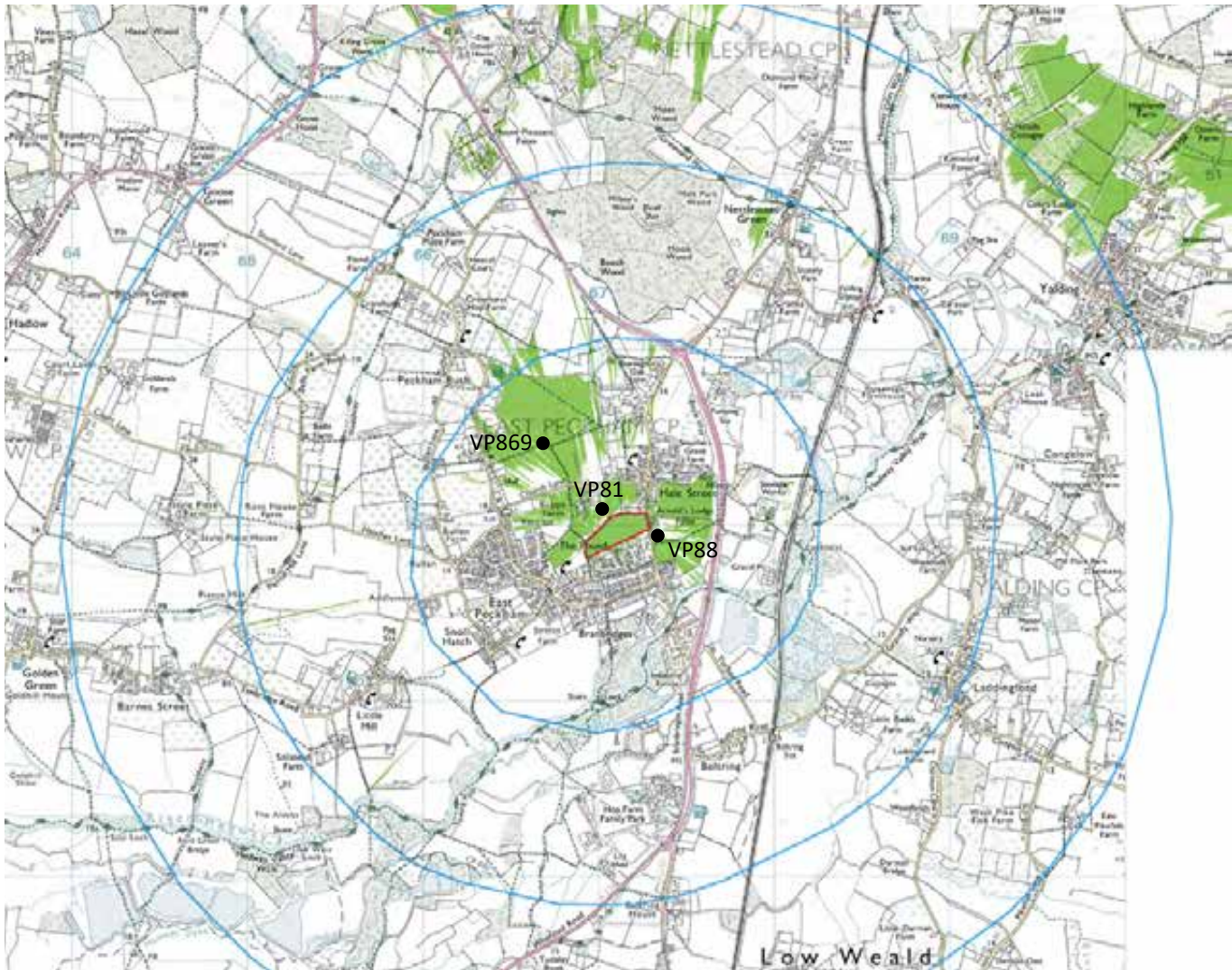
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

58751 - ZTV and Viewpoint Locations

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

58751 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) identifies the potential extent of visibility associated with the site, indicating a theoretical viewshed extending between 500m and 2km in all directions, however site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Potential visibility is primarily limited to close and mid-range views from the north-west and south-west, as well as close range visibility from the residential areas to the north, east and south-east. Residential areas restrict views from the south and west and any longer range views in these directions.

Long range views are obstructed by a combination of built form, topography and mature field boundary vegetation, which provide effective screening from more distant receptors, particularly from the south and south-west.

Mid distance views (VP869) open up from from PRoW (MR534 and MR530) as the land rises to the north. This provides some filtered views of parts of potential proposed development. Established field hedgerow and tree groupings, together with residential dwellings along Church Lane, provide substantial screening from these locations during the summer months, however it would be expected that views in the wintertime would be more prominent.

The elongated nature of the site limits the extent of road frontage, but increases the site's exposure along the adjacent public footpath which connects Hale Street with Pound Road. Direct views are available from Hale Street (VP88), where the site fronts the road and from the public footpath along the northern and western edge of the site. It offers continuous close range views along its entire length (VP81 and VP84). The potential magnitude of visual effects at these locations would be most affected by any development, with small scale development rated as Moderate-Minor adverse and medium scale development rated as Moderate adverse.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP869 - PRoW MR534 junction with MR535 looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Negligible	N/A	Minor Adverse	Minor Adverse	N/A
VP88 - Hale Street looking North	Low	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP81 - View into the site from PRoW running along the northern boundary	Moderate	Recreational: Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Note: * Assessments based on effects without mitigation

Partial views from the south are restricted to a narrow visual corridor between dwellings on Whitebine Gardens and Henham Gardens, however the site would be visible to the residents.

Due to the site's contained location and the presence of housing along the southern boundary, small to medium residential development typology would be partially visible from the surrounding area. Existing on site and boundary vegetation provides valuable screening and should be retained and enhanced where possible to minimise visual impact of potential development. Additional structural planting, including hedgerows and grouped native tree species, should be introduced along the northern and western boundaries to filter direct views from the public footpath along the edge.

Development should be guided by a landscape led approach, responding to the surrounding character. Built form should be carefully articulated to reduce visual bulk and appropriate setbacks from sensitive edges should be taken into consideration. Road layout and access design should respect existing landscape patterns and minimise unnecessary visual intrusion.

Overall, with appropriate mitigation measures and careful design, the site has the potential to accommodate development without resulting in significant adverse visual effects, particularly when viewed in the context of the existing settlement character.

Visual Impact Appraisal

58751 - Viewpoint Images

VP869 - PRoW MR534 junction with MR535



VP88 - Hale Street looking North



VP81 - View into the site from PRoW running along the northern boundary



Landscape Impact Appraisal

Proposed development type: Residential

58751 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium- Low Medium: High-Medium Large: High	Small: Medium-Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate to Moderate- Minor Adverse	Major- Moderate to Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, an area identified as having Medium–Low sensitivity for small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development is deemed inappropriate for this location and has not been assessed.

The site is an overgrown scrubland, with occasional trees within the centre of the site. More established hedge and tree planting line the north-western boundary, however the vegetation is unmaintained and overgrown. Any proposed development would alter the existing vegetation, however the loss would be limited. These changes would have a Moderate-Minor to Moderate adverse impact in the case of small scale residential development typology and a Major-Moderate to Major adverse impact for medium scale development typology.

The presence of adjacent residential dwellings to the south would help integrate a smaller scale

development into the local built context. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss. The site presents such an opportunity, however despite this a medium scale development would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated. Mitigation through retention and enhancement of existing tree and hedgerow planting, the introduction of similar planting typologies would support visual integration of a small scale residential development typology. While this type of development would result in some localised landscape effects, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. Any new access Hale Street should be thoughtfully integrated into the landscape.

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

Small scale residential development typology is appropriate given the site's Medium–Low sensitivity, limited visibility, and existing residential context. Localised impacts could be effectively mitigated through retention and enhancement of existing vegetation and sensitive design, careful planning of layout and density.

Medium scale residential development typology faces higher sensitivity and greater risk of adverse effects on local character and views. Although some screening exists, the scale may exceed the landscape's capacity even with strong mitigation.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development subject to high quality design and effective landscape integration. Medium scale development is inappropriate as adverse landscape and visual impacts could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

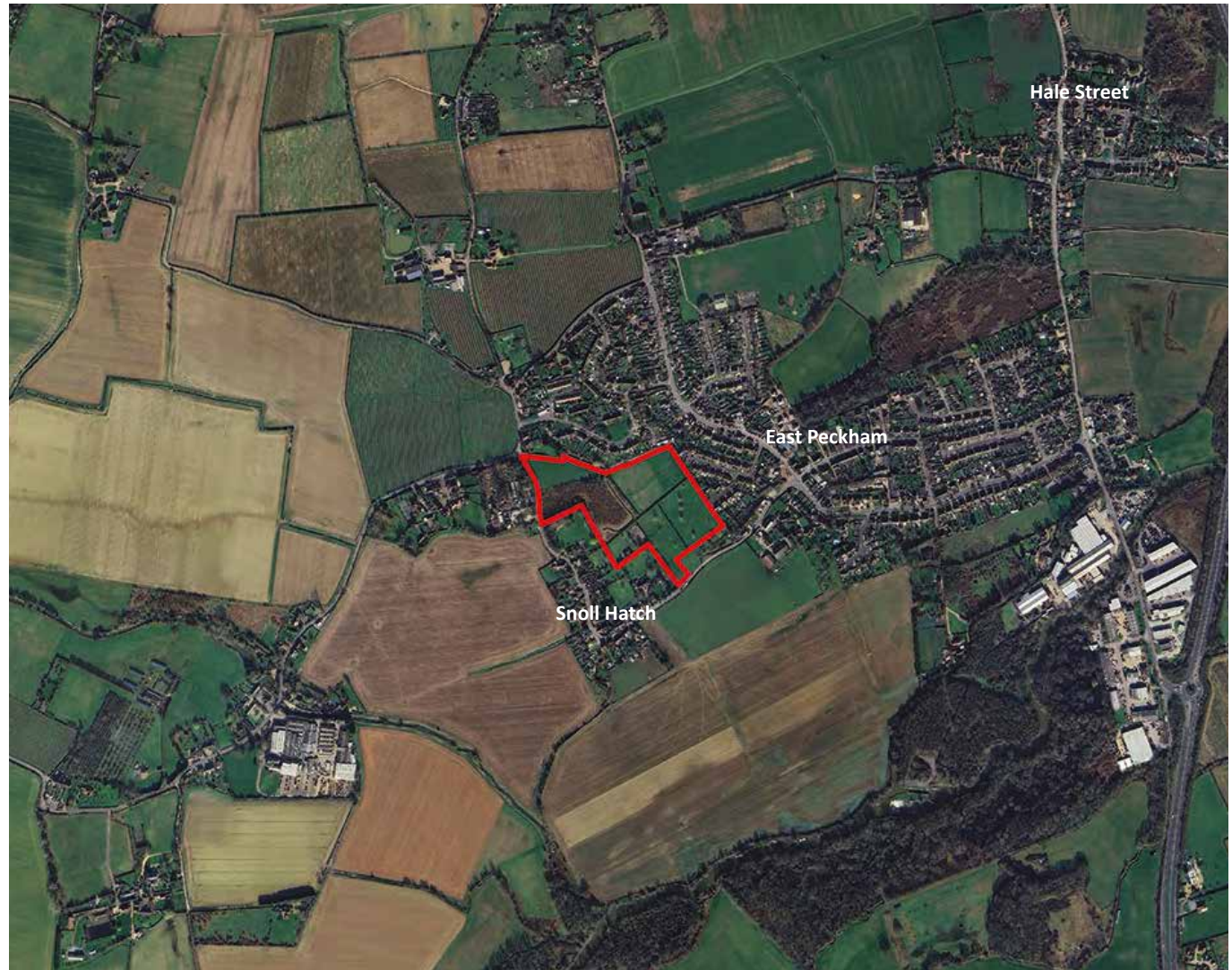
Site: 59613 - Land West of Addlestead Road

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site occupies much of the open land between the settlements of East Peckham and nearby Snoll Hatch and it adjoins Addlestead Road to the west and Snoll Hatch Road to the south. To the north, it adjoins the rear gardens of neighbouring residential properties. The eastern boundary is shared with further residential development, where properties on Fell Mead and Stockenbury Roads adjoin the site. The land comprises a series of relatively flat, horse grazed fields, subdivided by established hedgerows, while the western portion of the site features a plantation of semi-mature trees.

Proposed development type: Residential



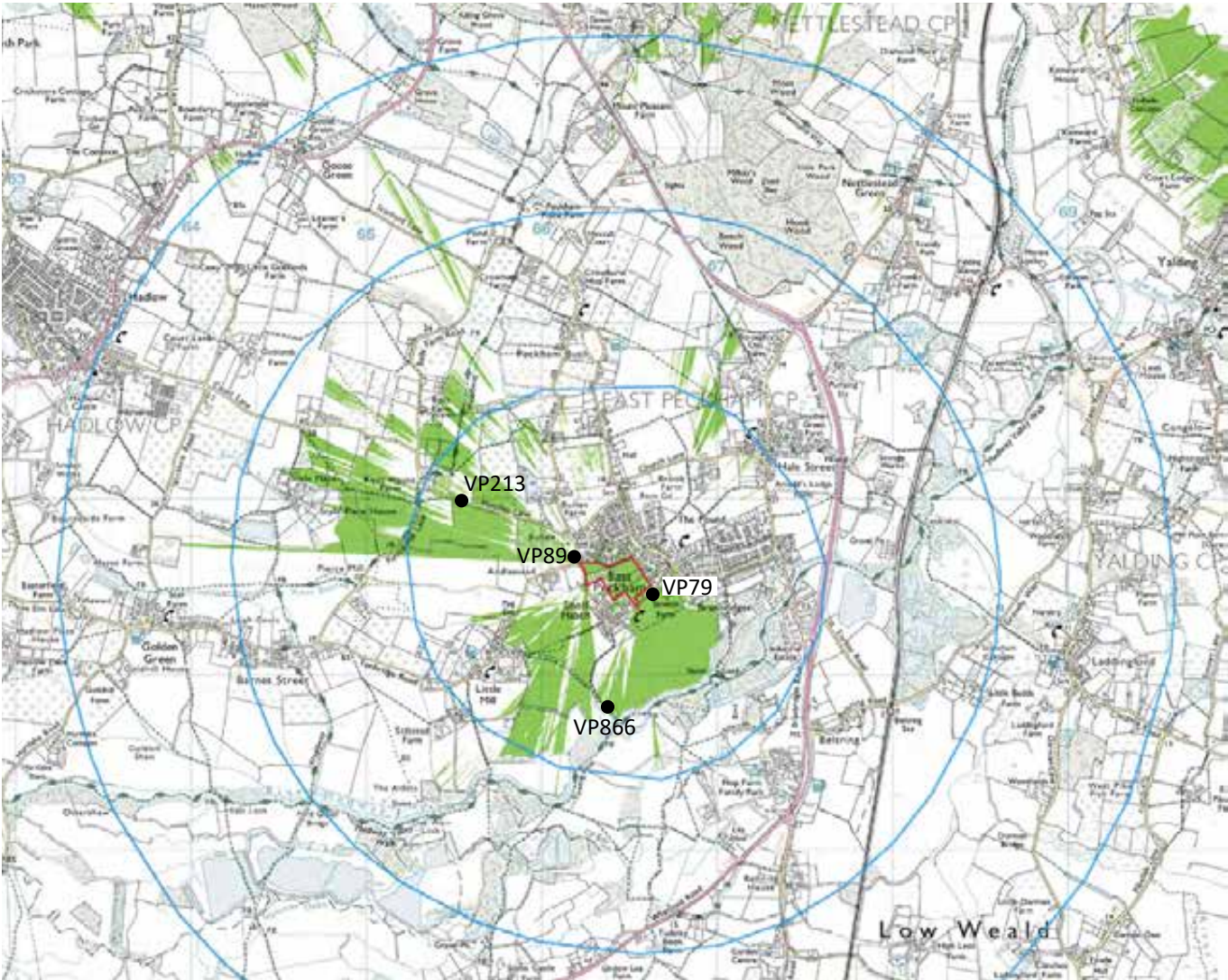
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

59613 - ZTV and Viewpoint Locations

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59613 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates areas from which the site may be visible within the surrounding landscape, which are within approximately 500m to 2km from the site boundary, however site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Potential visibility is primarily limited to close and mid-range views from the north-west and south-west, as well as close range visibility from the residential areas to the north, east and south-west. These residential areas restrict the longer range views in these directions. Large scale development typology is deemed inappropriate for the site and has not been assessed. Long and mid distance views from Hatches Lane and Pierce Mill Lane, are largely obstructed by tall field hedgerows and mature groups of tree planting in close proximity to the site. From areas where the roads are more elevated and where no hedgerows are present along the roads, the views open up (VP213), however would be only partial views of the proposed development, with taller parts visible above the planting. Some partial mid distance views are also available from the south-west, form a public footpath leading from Snoll Hatch Road to River Bourne and adjacent PRoWs (VP866). In the summer the views are obstructed by field boundary hedgerow and tall crops and for most part the site is well screened, however it would be expected that these views would open up in the winter and become more prominent. The overall visual effects at these locations would be Minor adverse for small scale development typology and Moderate-Minor adverse or medium scale development typology. Close range views into the site are limited. A section of the site is visible from Snoll Hatch Road where it adjoins the carriageway, but further views along this road are obstructed by intervening buildings and hedgerows dividing the adjacent fields (VP79). From Addlestead Road (VP89), partial close

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Suseptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP213 - Hatches Lane looking south-east	Moderate	Walkers, cyclists: Moderate Suseptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate -Minor Adverse	N/A
VP866 - PRoW along River Bourne looking north	Moderate	Walkers, cyclists: Moderate Suseptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate -Minor Adverse	N/A
VP79 - View from Snoll Hatch Road	Moderate	Walkers, cyclists: Moderate Suseptibility Moderate Sensitivity	Slight	Moderate	N/A	Moderate -Minor Adverse	Moderate Adverse	N/A
VP89 - View from Addlestead Road and junction with Tonbridge Road	Moderate	Walkers, cyclists: Moderate Suseptibility Moderate Sensitivity	Slight	Moderate	N/A	Moderate -Minor Adverse	Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59613 - Summary of Visual Effects

Proposed development type: Residential

range views are possible, however, a dense roadside hedge substantially screens the majority of the site along this road. The potential magnitude of visual effects at these locations would be most affected by any development, with small scale development rated as Moderate-Minor adverse and medium scale development rated as Moderate adverse.

Due to the site’s well contained location and the presence of housing along much of its perimeter, small to medium scale residential development would be only partially visible from the surrounding area. The retention of existing vegetation on-site and along boundaries would help preserve elements

of the site's enclosure and contribute to visual mitigation. If a new access would need to be formed on one or both road frontages that this would change the visual scene and open up the interior of the site and potential development to views and consequential visual effects. Enhancement through strategic planting, such as reinforcing boundary hedgerows and introducing groups of native trees, would improve visual integration, particularly along the footway on Addlestead Road. Any proposed development should sensitively respond to the existing settlement pattern, with careful consideration given to building layout, density, and road access to minimise visual effects.

Visual Impact Appraisal

59613 - Viewpoint Images

VP213 - Hatches Lane looking south-east

Approximate site extent



VP866 - PRoW along River Bourne looking north

Approximate site extent



Visual Impact Appraisal

59613 - Viewpoint Images

VP79 - View from Snoll Hatch Road

Approximate site extent



VP89 - View from Addlestead Road and junction with Tonbridge Road

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59613 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium-Low Medium: High-Medium Large: High	Small: Medium-Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate to Moderate-Minor Adverse	Major-Moderate to Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, assessed as having Medium–Low sensitivity to small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed. The site is formed from a series of fields subdivided by hedgerow planting. It is primarily open in character and provides a buffer between the settlements of East Peckham and Snoll Hatch. This is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, that would be altered and lost through the introduction of built form and associated hard surfacing. The loss of existing vegetation would be limited, as the main typology is open grassland and hedgerow planting, however there is an area of tree planting within the north-west corner that could be affected should development come forward, which should be protected and retained.

These changes would have a Moderate-Minor to Moderate adverse impact in the case of small scale residential development typology and a Moderate-Major to Major adverse impact for medium scale development typology.

The presence of adjacent residential dwellings to the north-east, east, and south-west would help integrate a smaller scale development typology into the local built context. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss.

The site presents such an opportunity, however despite this a medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated and only a small scale residential development would be appropriate.

Mitigation through retention and enhancement of existing tree and hedgerow planting, the introduction of similar planting typologies would support visual integration of a small scale residential development typology. While this type of development would result in some localised landscape effects, particularly on perceptual qualities, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. Any new access from Addlestead Road or Snoll Hatch Road should be thoughtfully integrated into the landscape with the use of appropriate planting or fencing sympathetic to the rural context.

Visual and Landscape Impact Appraisal

Proposed development type: Residential

59613 - Summary of Visual and Landscape Effects

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

Small scale development is considered appropriate, given the site's Medium–Low landscape sensitivity, limited visibility, and existing residential context. Localised impacts could be effectively mitigated through retention and enhancement of existing vegetation and sensitive design, careful planning of layout and density.

Medium scale development has higher landscape sensitivity. It would have greater impact on openness and rural character, and greater visual effects on views from beyond the settlements.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development is inappropriate as adverse landscape and visual impacts could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 59782 - Land west of Hale Street

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located along Hale Street, with its entire eastern boundary fronting the road. To the north, it is bounded by a public footpath. The western and southern boundaries adjoin open agricultural land, and a Public Right of Way (PRoW) runs north–south through the centre of the site. A hedgerow defines the western boundary and part of the northern edge.



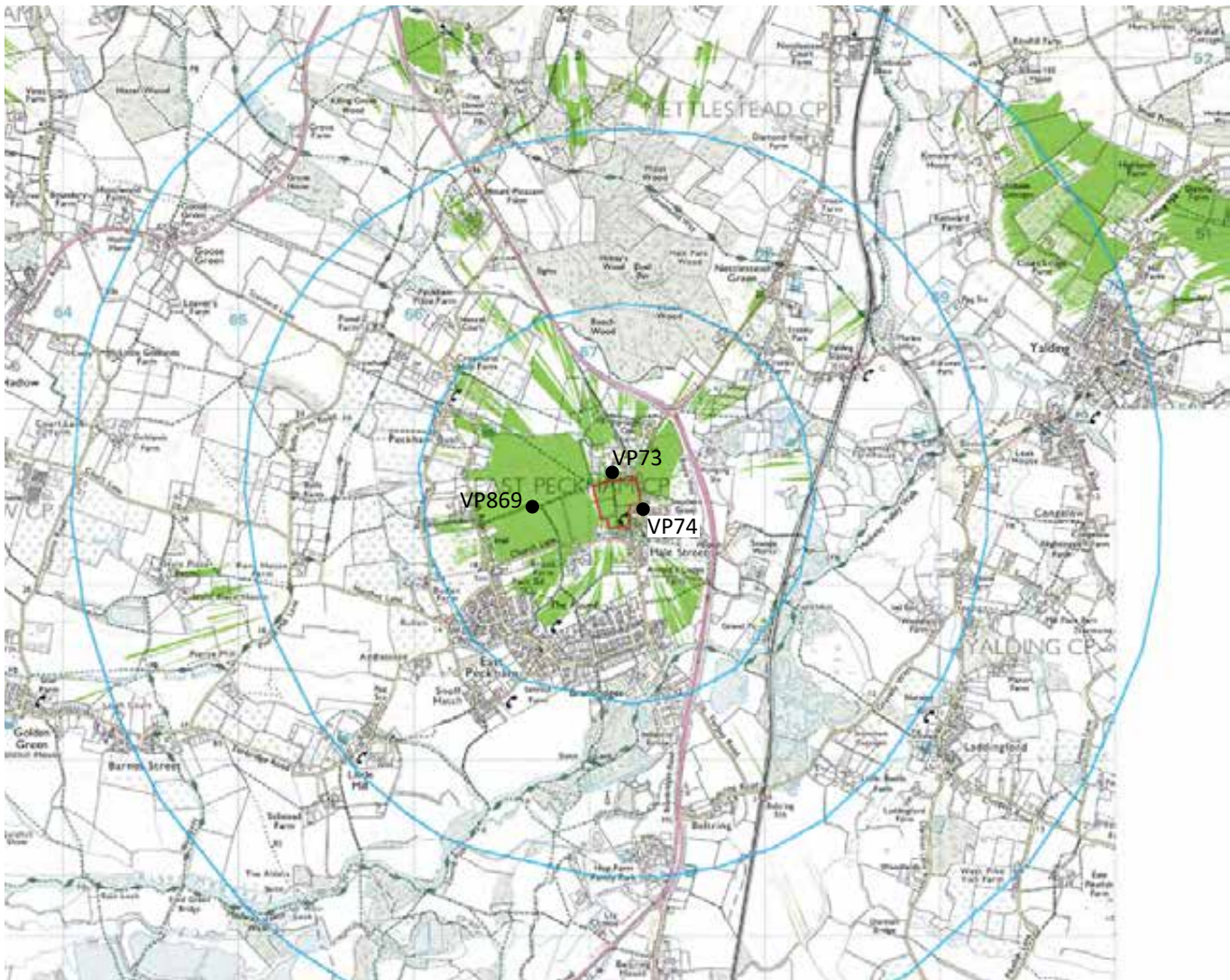
Site location plan

Base image: Google Maps (2025)

Visual Impact Appraisal

59782 - ZTV and Viewpoint Locations

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Employment

59782 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) identifies areas from which the site may be visible, indicating the potential for open views from the surrounding landscape raging in most directions up to approximately 1km, however site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Visibility is largely limited to short range views from the immediate west and east, particularly from locations close to the site boundary. Existing residential development and mature hedgerows significantly restrict views from more distant vantage points. Large scale development typology is deemed inappropriate for the site and has not been assessed.

Long and medium distance views from surrounding public footpaths to the east and north-east and Bush Road are typically filtered through dense boundary vegetation, which provides a degree of visual containment and mitigation for any potential development. The site is visible from the surrounding PRoW (VP869), however these are partially filtered by existitng field boundary planting and in the summer by crops in the adjacent fields and would be only partiel views of parts of proposed development. It would be expected that potential development in the winter views would be more prominent. Direct and open views are primarily experienced from public footpath MR530 (VP73), which runs along the northern boundary, and from the public footpath traversing the site in a north-south direction. From these locations, both small and medium scale residential developments typologies would be prominent in the view. Some closer views from Hale Street (VP 74) are partially screened by intervening vegetation, resulting in a reduced visual impact. Elsewhere along Hale Street and Church Lane, views are substantially blocked by existing residential dwellings, further limiting visibility from these locations. The overall visual effects at these locations

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP869 - PRoW MR534 junction with MR535 looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP73 - PRoW along the northern bound- ary (MR530)	Moderate	Recreational: Moderate/Low Susceptibility Moderate Sensitivity	Substantial adverse	Very Substantial adverse	N/A	Major- Moderate Adverse	Major Adverse	N/A
VP74 - Hale Street looking north	Moderate	Recreational: Moderate/Low Susceptibility Moderate Sensitivity	Moderate adverse	Substantial adverse	N/A	Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

would be most affected by development, with small scale development typology rated as Moderate to Major-Moderate adverse and medium scale development typology rated as Major-Moderate to Major adverse.

Existing and well established boundary hedgerows provide good screening to the eastern, north-eastern and western boundaries. A limited level of screening is achieved along the southern boundary on the interface with existing back gardens of adjacent residential properties.

Despite the visual impact, with appropriate mitigation of incorporating landscape features typical of the local character area, such as field boundary hedgerows and groups of trees, particularly to the south, north and along the public footpath

running through the site, alongside sensitive consideration of development density and layout, a small scale residential development typology could be successfully integrated without undue visual harm. Carefully considered layout, road network and density of built form would be required to reduce visual prominence and integrate proposals into the surroundings.

Medium scale developemtn typology would generate overall visual effects that could nto be successfully mitigated.

Visual Impact Appraisal

59782 - Viewpoint Images

VP869 - PRoW MR534 junction with MR535



VP74 - Hale Street looking north



VP73 - PRoW along the northern boundary (MR530)



Landscape Impact Appraisal

Proposed development type: Residential

59782 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium-Low Medium: High-Medium Large: High	Small: Medium-Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, an area identified as having Medium–Low sensitivity for small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising open agricultural fields enclosed and subdivided by hedgerows and linear vegetation. Any proposed development would alter the existing vegetation, however the loss would be limited. The site is open in character and this is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, which are typical to the area's character, that would be altered and lost through the introduction of built form and associated hard surfacing. These changes would have a Moderate adverse impact in the case of small scale residential development typology and Major adverse impact for medium scale development typology.

Due to the presence of existing dwellings on three sides of the site, small scale residential development typology could be successfully accommodated with appropriate mitigation. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss. Despite this, a medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Mitigation measures should enhance the local landscape structure through retention and enhancement of existing hedgerow planting, the introduction boundary planting, especially along more sensitive edges to the north and south, and tree groupings would support visual integration of a small scale residential development typology. While this type of development would result in some localised landscape effects, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. Careful attention should be given to the proposed layout, including access roads and development density, to ensure alignment with existing landscape patterns and to preserve the character of the area.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59782 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

The site shows potential for small scale residential development typology, subject to landscape led design and mitigation. Visual and landscape effects would be localised and partially offset by existing vegetation and adjacent housing. The landscape character area's Medium-Low sensitivity to small scale development typology supports the view that such proposals could be appropriately integrated with minimal impact on wider landscape character.

Medium scale development typology would result in greater visual and landscape adverse effects, especially from public footpaths with open views across the site. The area's High-Medium sensitivity to this scale of development would exceed the landscape's capacity even with strong mitigation.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development typology is inappropriate, as adverse landscape and visual effects could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 59789 - Brook Farm, Church Lane

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located off Church Lane, with part of its northern boundary fronting the road. The eastern boundary adjoins an existing residential property before extending along the southern edge of a small business premises. To the south, the site is bounded by a public footpath that follows the course of a stream and runs adjacent to the rear gardens of existing residential dwellings. This part of the site consists of overgrown scrubland and scattered trees. The western boundary, which follows a curving alignment, adjoins the open recreational space of Brook Farm Gardens.

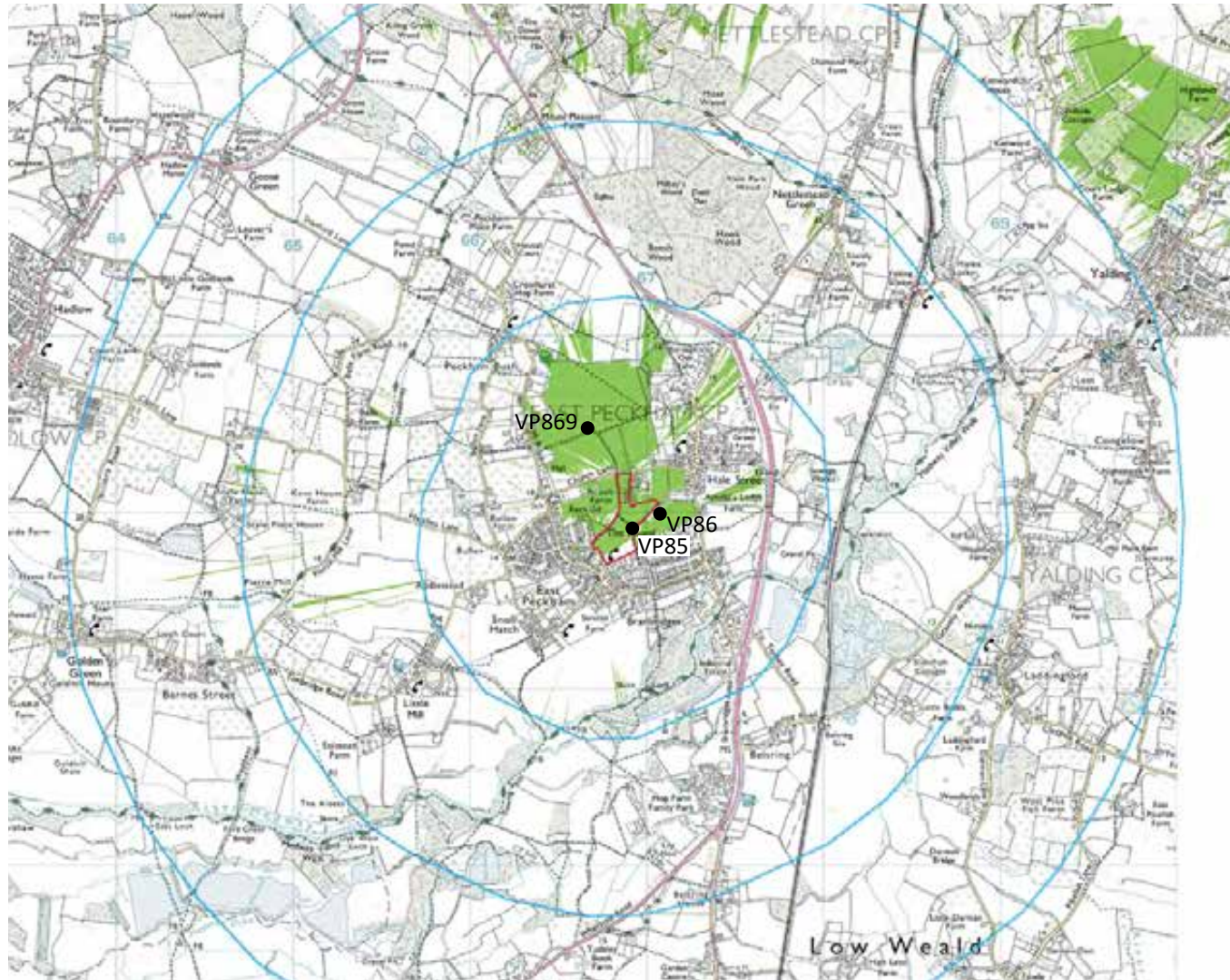


Site location plan
Base image: Google Maps (2025)

Visual Impact Appraisal

59789 - ZTV and Viewpoint Locations

Proposed development type: Residential



Key

- Site boundary
- VPxx Viewpoint location and number
- ZTV
- Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59789 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates areas from which open views of the site may be possible. Potential views are primarily from the east and north, however these are largely confined to locations in close proximity to the site. The overall viewshed extends approximately 500m to 1km, with some views identified to the north-east beyond 3km. Site investigation and field work demonstrate that visibility is significantly constrained by the site's central location within the settlement and the surrounding built environment. To the north, a well established hedgerow provides effective screening, reducing the visual prominence of the site. Additionally, the site is partially flanked by residential buildings along the southern and western edges, which helps conceal future developments from many surrounding streets, particularly for small to medium scale proposals. Large scale development typology is deemed inappropriate for the site and has not been assessed.

The viewshed identifies views from fields to the north. Mid distance views (VP869) open up form from PRoW connecting Bush Road and Hale Street (MR534 and MR530) as the land rises to the north. This PRoW and surrounding footpaths in this direction would provide some filtered views of parts of potential proposed development. Established field hedgerow and tree groupings, together with residential dwellings along Church Lane, provide partial screening from these locations. The overall visual effects would be Minor adverse for small scale residential development typology and Moderate-Minor adverse for medium scale residential development typology. Views from surrounding roads to the west, Hatches Lane and Pierce Mill Lane, are largely obstructed by tall field hedgerows and mature groups of tree planting in close proximity to the site. Church Lane and Hale Street offer minimal visibility due to intervening buildings and the site's set back location with residential development along Pound Road and The Freehold

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP869 - PRoW MR534 junction with MR535 looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate- Minor Adverse	N/A
VP85 - View into the site from PRoW running along the southern boundary	Moderate	Recreational: High/Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse	N/A
VP86 - View into the site from PRoW running along the southern boundary	Moderate	Recreational: High/Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

obstructing views almost entirely. Some partial views of parts of development would be possible.

Closer range direct views of the site are most apparent from the public footpaths running along the southern boundary (VP86) and through the site (VP85). The overall visual effects at these locations would be Major-Moderate for small scale development typology and Major adverse for medium scale development typology.

Due to the site's well contained location and the presence of housing along the southern edges, small to medium scale residential development typologies would be only partially visible from the surrounding area. The retention of existing vegetation on site, especially the group of trees in the south-west corner and densely planted hedgerow along north-

western boundary, and along other boundaries, would help preserve elements of the site's enclosure and contribute to visual mitigation. If a new access would need to be formed on Church Lane this would change the visual scene and open up the interior of the site and potential development to views and consequential visual effects, however the shape of the plot would allow to locate any buildings off the direct view created by the access.

Future development should be carefully designed with consideration to scale, density, and layout. Particular attention should be given to aligning access routes with existing land patterns and reinforcing natural screening to minimise visual intrusion.

Visual Impact Appraisal

59789 - Viewpoint Images

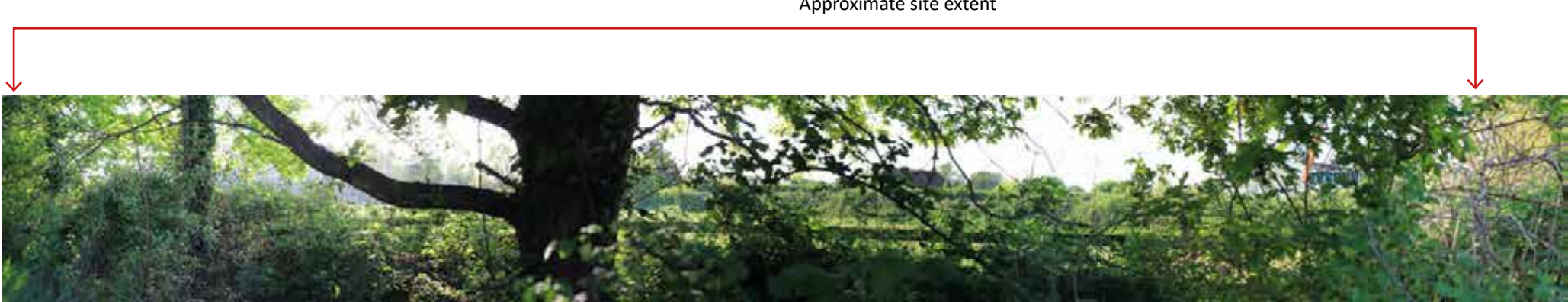
VP869 - PRoW MR534 junction with MR535



VP85 - View from PRoW along the southern boundary



VP86 - View from PRoW along the southern boundary



Landscape Impact Appraisal

Proposed development type: Residential

59789 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium-Low Medium: High-Medium Large: High	Small: Medium-Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, assessed as having Medium–Low sensitivity to small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed. The site is formed from a couple of fields subdivided by hedgerow planting. It is primarily open in character. This is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, that would be altered and lost through the introduction of built form and associated hard surfacing.

The loss of existing vegetation would be limited, as the main typology is open grassland and hedgerow planting, however there is an area of tree planting within the south-west corner that could be affected should development come forward. The trees should be protected and retained. These changes would have a Moderate adverse impact in the case of small scale residential development typology and Major adverse impact for medium scale development typology.

The presence of adjacent residential dwellings to the south-west would help integrate a smaller scale development typology into the local built context. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss. The site presents such an opportunity, however despite this a medium scale development would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Mitigation through retention and enhancement of existing tree and hedgerow planting, the introduction of similar planting typologies would support integration of a small scale residential development into the surroundings. While this type of development would result in some localised landscape effects, particularly on perceptual qualities, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. New access from Church Lane should be thoughtfully integrated into the landscape and be in keeping with the access treatments within the area.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59789 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

The site shows potential for small scale residential development typology, subject to landscape led design and mitigation. Visual and landscape effects would be localised and partially offset by existing vegetation and adjacent housing. The landscape character area's Medium-Low sensitivity to small scale development typology supports the view that such proposals could be appropriately integrated with minimal impact on wider landscape character.

Medium scale development typology would result in greater visual and landscape adverse effects, especially from public footpaths with open views across the site. The area's High-Medium sensitivity to this scale of development would exceed the landscape's capacity even with strong mitigation.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development typology is inappropriate, as adverse landscape and visual effects could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 59813 - Land North of Church Lane, Hale Street

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located along Church Lane, with its entire southern boundary fronting the road. To the west, it adjoins the graveyard of Holy Trinity Church and the grounds of East Peckham Village Hall. The northern and eastern boundaries border open agricultural land. A public footpath runs along the northern edge of the site and continues in a north-south direction, crossing through the centre.

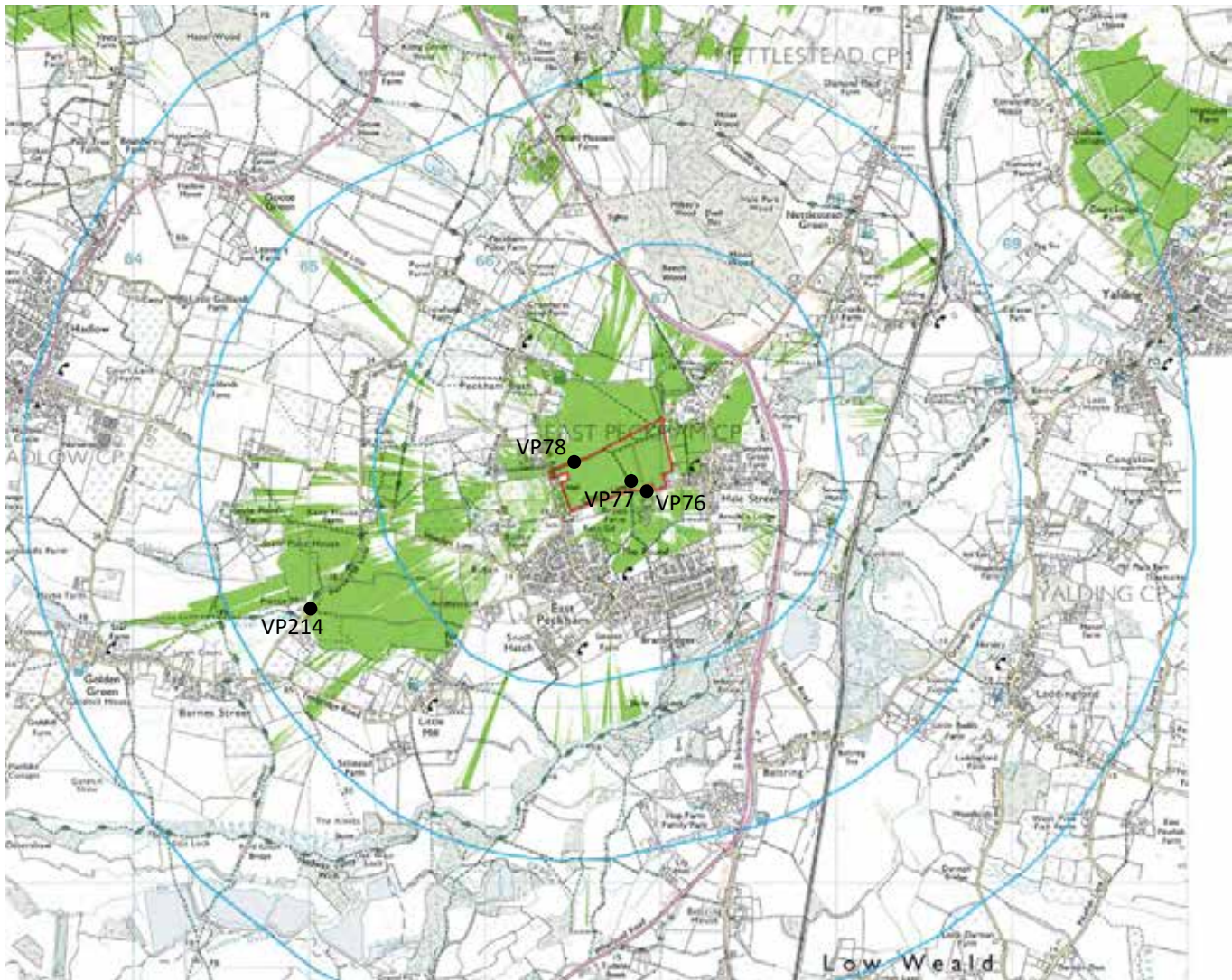


Site location plan
Base image: Google Maps (2025)

Visual Impact Appraisal

59813 - ZTV and Viewpoint Locations

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59813 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) identifies areas from which the site may be visible, indicating the potential for open views from the surrounding landscape ranging to 1km in most directions, with views to the east and south-east up to approximately 2km, however site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Visibility is largely limited to close and mid range views from the north, south and east, particularly from locations close to the site boundary. Existing mature hedgerows along the fields and roads significantly restrict views from more distant vantage points towards the west. The site's open character allows views, particularly from higher ground along public footpaths to the north which offer clear and uninterrupted visibility of the site. Views from the west are more limited due to visual screening afforded by orchard planting and well established field hedgerows, which significantly reduce visibility from this direction. Large scale development typology is deemed inappropriate for the site and has not been assessed.

Long and medium distance views from surrounding public footpaths to the north are open across the fields, however views from Bush Road, Hatches Lane and Pierce Mill Lane (VP214) are typically filtered through dense boundary vegetation, which provides a degree of visual containment and mitigation for any potential development.

The overall visual effects for the longer but more contained views would be Minor adverse for small scale development typology and Moderate-Minor adverse for medium scale development typology.

Direct and open views are primarily from public footpath MR535 (VP78), which runs along the northern boundary, and from the public footpath MR534 traversing the site in a north-south direction (VP77). From these locations, both small and medium scale residential developments typologies would be

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP214 - Pierce Mill Lane	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate- Minor Adverse	N/A
VP75 - MR334 looking north	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major + Adverse	N/A
VP76 - Church Lane looking across the site	Moderate	Recreational: High Susceptibility High Sensitivity	Very Substantial	Very Substantial	N/A	Major + Adverse	Major + Adverse	N/A
VP78 - MR335	Moderate	Recreational: High Susceptibility Very High Sensitivity	Very Substantial	Very Substantial	N/A	Major + Adverse	Major + Adverse	N/A

Note: * Assessments based on effects without mitigation

prominent in the view. Close range views from Church Lane (VP76) provide clear and unobstructed views of the site, however some visual screening is provided by a small cluster of dwellings at the south-east corner, while Holy Trinity Church and the Village Hall create partial visual buffers along the eastern boundary along Bush Road. The overall visual effects at these locations would be Major to Major+ adverse for small scale residential development typology and Major+ adverse for medium scale development typology.

The site is characteristic of its landscape typology, comprising an open agricultural field with sparse hedgerow planting along

most boundaries. Well established hedgerows are confined primarily to a section of Church Lane and the eastern boundary. This lack of robust boundary vegetation accentuates the site's visual prominence within the surroundings. Potential development on the site would generate adverse visual effects that could not be successfully mitigated.

Visual Impact Appraisal

59813 - Viewpoint Images

VP214 - Pierce Mill Lane looking east

Approximate site extent



VP75 - View from Church Lane looking across the site

Approximate site extent



VP77 - View from southern end of PRow running north-south

Approximate site extent



Visual Impact Appraisal

59813 - Viewpoint Images

VP78 - View from western end of PRow running along the north

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59813 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium- Low Medium: High-Medium Large: High	Small: Medium- Low Medium: High-Medium Large: High	Substantial	Very Substantial	N/A	Moderate to Major-Moderate Adverse	Major to Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, an area identified as having Medium–Low sensitivity for small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed.

The site is characteristic of its local landscape typology, comprising an open agricultural field with sparse hedgerow planting along most boundaries. Well established hedgerows are confined primarily to a section of Church Lane and the eastern boundary. Any proposed development would alter the existing vegetation, however the loss would be limited. The site is open in character and this is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, which are typical to the area's character, that would be altered and lost through the introduction of built form and associated hard surfacing. There would also be a partial urbanising effect on countryside. These changes would have a Moderate to Major-Moderate adverse impact in the case of small scale residential development typology and a Major to Major+ adverse impact for medium scale development typology.

Due to limited presence of residential dwellings adjacent to the site, development could be perceived as expansion and linkage of Hale Street and East Peckham, which is in keeping with the pattern of these settlements, as they current link with each other. A small scale residential development typology, with mitigation measures characteristic of the local area could be successfully accommodated on this site. Careful space planning and building massing, appropriate layout of roadwork, which allows for new hedgerow, tree, and scrub planting, as well as introduction of open areas of grassland or wildflower meadows for recreation, would help integrate development sensitively within the existing landscape context and partially offset adverse effects.

A medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated and only a small scale residential development would be appropriate.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59813 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The site shows potential for small scale residential development, subject to landscape led design and mitigation. Visual effects, although substantial in the proximity of the site, would require a robust mitigation strategy to provide visual screening. The landscape character area's Medium-Low sensitivity to small scale development and moderate landscape sensitivity supports the view that such proposals could be appropriately integrated with limited impact on wider landscape character.

Medium scale development would result in greater visual and landscape adverse effects, especially from public footpaths with open views across the site. The area's High-Medium sensitivity to this scale of development would exceed the landscape's capacity even with strong mitigation.

In summary, the site offers a potential location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development typology is inappropriate, as adverse landscape and visual impacts could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 59837 - Land Northeast of Bower Mount Oast, Snoll Hatch Road

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site comprises a parcel of land subdivided by hedgerows and scattered trees. It is situated behind residential properties along Addlestead Road and Snoll Hatch Road, with its western and southern boundaries adjoining the rear gardens of these dwellings. The northern and eastern boundaries adjoin neighbouring open fields. A narrow strip of land provides access to the site from Snoll Hatch Road.



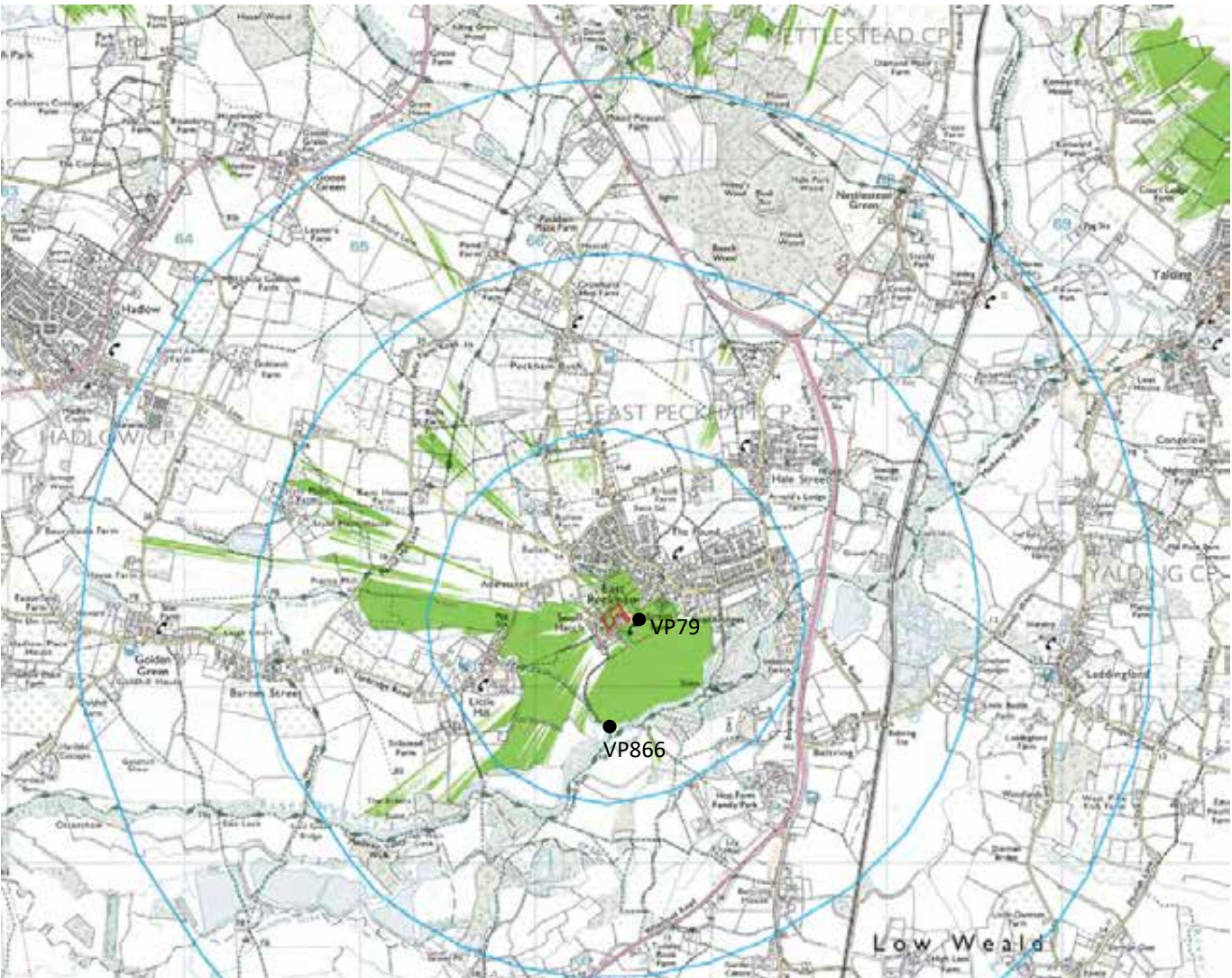
Site location plan

Base image: Google Maps (2025)

Visual Impact Appraisal

59837 - ZTV and Viewpoint Locations

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59837 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates areas from which the site may be visible within the surrounding landscape, which are within approximately 500m to 2km from the site boundary, site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Potential visibility is primarily limited to close and mid-range views from the south, west and north-west, as well as close range visibility from the residential areas to the south-west. These residential areas and dwellings of East Peckham to the north-east restrict the longer range views in these directions. Large scale development typology is deemed inappropriate for the site and has not been assessed. Long and mid distance views from Hatches Lane and Pierce Mill Lane, are largely obstructed by tall field hedgerows and mature groups of tree planting in close proximity to the site. From areas where the roads are more elevated and where no hedgerows are present along the roads, the views could open up during winter, however would be only partial views of the proposed development, with taller parts visible above the planting. Some partial mid distance views are also available from the south-west, form a public footpath leading from Snoll Hatch road to River Bourne and adjacent PRoWs (VP866). In the summer the views are obstructed by field boundary hedgerow and tall crops and for most part the site is well screened, however it would be expected that these views would open up in the winter and become more prominent. The overall visual effects at these locations would be Minor adverse for small scale development typology and Minor to Moderate-Minor adverse for medium scale development typology.

Close range views into the site are limited. Mature boundary vegetation provides substantial screening from Snoll Hatch Road, particularly given the site's minimal frontage to this street (VP79). The site predominantly wraps around existing

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP866 - PRoW along River Bourne	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate -Minor Adverse	N/A
VP79 - View from Snoll Hatch Road	Moderate	Recreational: Moderate/Low Susceptibility Moderate Sensitivity	Slight	Moderate	N/A	Minor Adverse	Moderate - Minor Adverse	N/A

Note: * Assessments based on effects without mitigation

properties along Addlestead Road and Snoll Hatch Road, further limiting direct visibility from the surroundings. Internal hedgerows and field divisions also contribute to the visual containment of the site, reinforcing the sense of enclosure. As the site is largely set back from public roads and bordered by residential development, both small and medium scale development typology proposals would be only partially visible in close views. The overall visual effects at these locations would be rated as Minor adverse for small scale development typology and Moderate-Minor adverse for medium scale development typology.

The retention of existing vegetation on-site and along boundaries would help preserve elements of the site's enclosure and contribute to visual mitigation. If a new access would need to be formed from Snoll Hatch Road road this would change the visual scene and open up the interior of the site and potential development to views and consequential visual effects

Mitigation opportunities exist through the retention and enhancement of existing landscape features, strengthening boundary vegetation and introduction of tree planting to filter views from neighbouring properties. Given the scale of the site, careful consideration of development density will be essential to maintaining visual harmony with the surrounding context and minimising visual effects.

Visual Impact Appraisal

59837 - Viewpoint Images

VP866 - PRoW along River Bourne

Approximate site extent



VP79 - View from Snoll Hatch Road looking towards the site

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59837 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium-Low Medium: High- Medium Large: High	Small: Medium-Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate to Major-Moderate Adverse	Major to Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, assessed as having Medium–Low sensitivity to small scale and High–Medium sensitivity to medium scale residential development. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed. The site is formed from a series of small fields subdivided by hedgerow planting. It is primarily open in character and this is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, that would be altered and lost through the introduction of built form and associated hard surfacing. The loss of existing vegetation would be limited, as the main typology is open grassland and hedgerow planting.

These changes would have a Moderate to Major-Moderate adverse impact in the case of small scale residential development typology and a Major-Moderate to Major adverse impact for medium scale development typology.

The presence of adjacent residential dwellings to the west and south would help integrate a smaller scale development typology into the local built context. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss. The site presents such an opportunity, however despite this a medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Mitigation through retention and enhancement of existing tree and hedgerow planting, the introduction of similar planting typologies would support visual integration of a small scale residential development typology. While this type of development would result in some localised landscape effects, particularly on perceptual qualities, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. Any new access from Snoll Hatch Road should be thoughtfully integrated into the landscape with the use of appropriate planting or fencing sympathetic to the rural context.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59837 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

The site shows potential for small scale residential development typology, subject to landscape led design and mitigation. Visual and landscape effects would be localised and partially offset by existing vegetation and adjacent housing. The landscape character area's Medium-Low sensitivity to small scale development typology supports the view that such proposals could be appropriately integrated with minimal impact on wider landscape character.

Medium scale development typology would result in greater visual and landscape adverse effects, especially from public footpaths with open views across the site. The area's High-Medium sensitivity to this scale of development would exceed the landscape's capacity even with strong mitigation.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development typology is inappropriate, as adverse landscape and visual effects could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Site: 59876 - Land South of Snoll Hatch Road

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located along Snoll Hatch Road, with its entire northern boundary fronting the road. To the west and south, it adjoins open agricultural land, while the eastern boundary encompasses Strettit Farm and its associated farm buildings. The boundary with the road is formed by a low stone wall with a timber post and wire fence running along it. In parts it is planted with a hedge, however the majority of it is open with no substantial planting. The eastern most part of the boundary becomes a 1.5m high brick wall, which continues to the entrance to the farmstead. The southern and western boundaries are demarcated by a timber post and wire fence, providing a limited physical separation from the neighbouring land.

Proposed development type: Mixed



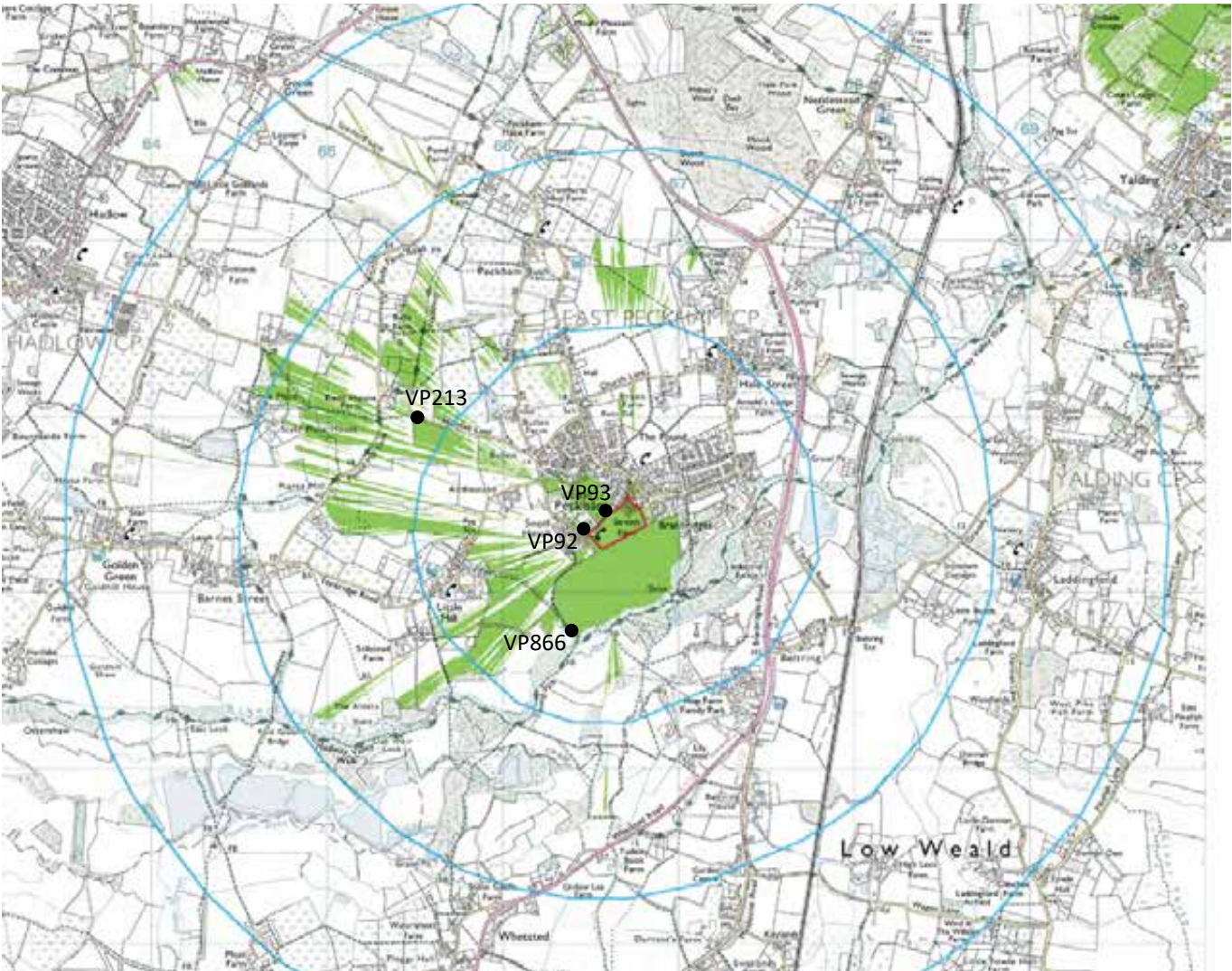
Site location plan

Base image: Google Maps (2025)

Visual Impact Appraisal

59876 - ZTV and Viewpoint Locations

Proposed development type: Mixed



Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Mixed

59876 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary up to 2km to the north, sweeping towards the south-west with the majority of the views contained within 1km distance from the site. Site investigation and field work demonstrate that the more distant views would offer only partial views of parts of the potential development in summer, with the most prominent views from the site boundary and immediate surroundings. The ZTV is based on summer conditions and, for this site, it can be expected that the extent of winter views of a potential development in views from the more elevated ground to the west, albeit partial ones filtered by some vegetation and buildings, would be more extensive. There are no obvious views towards the south and east, with views from the north screened by the settlement.

Long distance views to the west from the west are primarily from open fields. These views extend up to 2km, however the majority of them are filtered by existing field boundary vegetation, tree planting and dwellings of Snoll Hatch. Any views from the country lanes would only be partial views of parts of potential development. Views from Pierce Mill Lane and Hatches Lane (VP213) are well screened by a woodland block along Addlestead Road. The potential overall visual effects would be Minor adverse for all scales of development typologies.

Mid distance views are also primarily screened by existing planting and residential dwellings from the east, north and west, however some views open up from public footpaths along the River Bourne. In the summer the views are obstructed by field boundary hedgerow and tall crops and for most part the site is well screened, however it would be expected that these views would open up in the winter and become more prominent across the field to the south of

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP213 - Hatches Lane looking south- east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Negligible	Negligible	Minor Adverse	Minor Adverse	Minor Adverse
VP866 - PRoW along River Bourne	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Moderate	Substantial	Very Substantial	Major- Moderate Adverse	Major Adverse	Major+ Adverse
VP92 - Snoll Hatch Road on north-west corner	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	Very Substantial	Major- Moderate Adverse	Major Adverse	Major Adverse
VP93 - Snoll Hatch Road midway along the northern boundary	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	Very Substantial	Major- Moderate Adverse	Major Adverse	Major Adverse

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59876 - Summary of Visual Effects

the site (VP866). The views open from the bridge over River Medweay, however as the public footpath meets the Medway Valley Walk, on the southern side of River Medway these open views become fully screened by dense woodland planting and vegetation lining the river corridor. The overall visual effects would be Major-Moderate for small scale development typology, Major adverse for medium and Major+ adverse for large scale development typology.

Snoll Hatch Road presents unobstructed views into the site along the full extent of the northern boundary (VP92, VP93). With no vegetation and only a low wall separating the site from the road all development scale typologies will be fully

visible, with the overall visual effects being Major-Moderate adverse for small scale residential development typology and Major adverse for both medium and large residential and employment development typologies.

Any development on the site would have to be set back from the open boundaries to provide space for mitigation along the northern, western and southern edges. The small scale residential typology could be accommodated in the eastern part of the site, adjacent to the existing farmstead. Medium and large scale residential typologies generate overall visual effects which could not be easily mitigated, and would not be appropriate for the site. Medium scale employment typology

could be accommodated in the central and southern part of the site, with appropriate mitigation. Large scale employment typology would generate adverse visual effects that could not be sufficiently mitigated.

Proposed development type: Mixed

Visual Impact Appraisal

59876 - Viewpoint Images

VP213 - Hatches Lane looking south-east



VP866 - PRoW along River Bourne



Visual Impact Appraisal

59876 - Viewpoint Images

VP92 - Snoll Hatch Road on north-west corner

Approximate site extent



VP93 - Snoll Hatch Road midway along the northern boundary

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Mixed

59876 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Residential Small: Medium- Low Medium: High - Medium Large: High	Residential Small: Medium- Low Medium: High - Medium Large: High	Substantial adverse	Very Substantial adverse	N/A	Moderate to Major-Moderate Adverse	Major to Major+ Adverse	N/A
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Medium	Employment Medium: High-Medium Large: High	Employment Medium: High-Medium Large: High	N/A	Very Substantial	N/A	N/A	Major to Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within EHS01, which has been assessed as having Medium-Low sensitivity to small scale residential and High-Medium to medium scale residential typologies. Large scale residential typology is not deemed appropriate for the site and has not been assessed.

Employment typologies have been assessed as High-Medium sensitivity for medium scale typology and High sensitivity for large scale employment typology. Large scale employment typology is not deemed appropriate for the site and has not been assessed.

The site is currently an arable field however prone to flooding in the western part of the site. There is no notable vegetation on the site other than some hedgerow planting along Snoll Hatch Road. The main landscape changes would be change in use, loss of its openness, potential loss of boundary planting and partial urbanising effect on the countryside, however in the context of existing settlement.

These changes would have a Moderate to Major-Moderate adverse impact in the case of small scale residential typology and Major to Major+ adverse in case of medium scale residential typology. Medium scale employment typology would have overall Major to Major+ adverse impact.

The presence of adjacent residential dwellings would help integrate a smaller scale development into the local built context. The site presents an opportunity to accommodate some residential development in the northern part of the site, however despite this a medium scale development would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated and only a small scale residential development typology would be appropriate. Medium scale employment typology could be located more centrally and in the western part within the flood zone. While this type of development would result in some localised landscape effects, these impacts would be limited in extent and could be effectively mitigated through set back of development, sensitive design and strategic landscaping along the site boundaries.

Landscape Impact Appraisal

Proposed development type: Mixed

59876 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The site exhibits Medium to High-Medium landscape sensitivity and has limited visibility from the surroundings, but there would still be a series of views that would be impacted close to the site. Any potential development would need to seek to mitigate the visual effects on views from the exposed edges through the provision of strategic buffer planting along the western boundary.

A mix of small scale residential and medium scale employment typologies could be accommodated, provided that adequate mitigation measures are implemented. With thoughtful design, carefully considering building layout, massing, scale and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development. Medium scale residential and large scale employment typologies are not considered suitable for this site. The scale and intensity of such development would be inconsistent with landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

In summary a small to medium scale development typology would be appropriate, subject to high quality design and effective landscape integration.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Residential

Site: 68376 - Land South of Church Lane, Hale Street

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located off Church Lane and adjoins the rear gardens of residential properties on Hale Street. To the south, it is bounded by a public footpath that runs along the full length of the boundary. To the west, the site is bordered by a small business premises comprising industrial sheds.



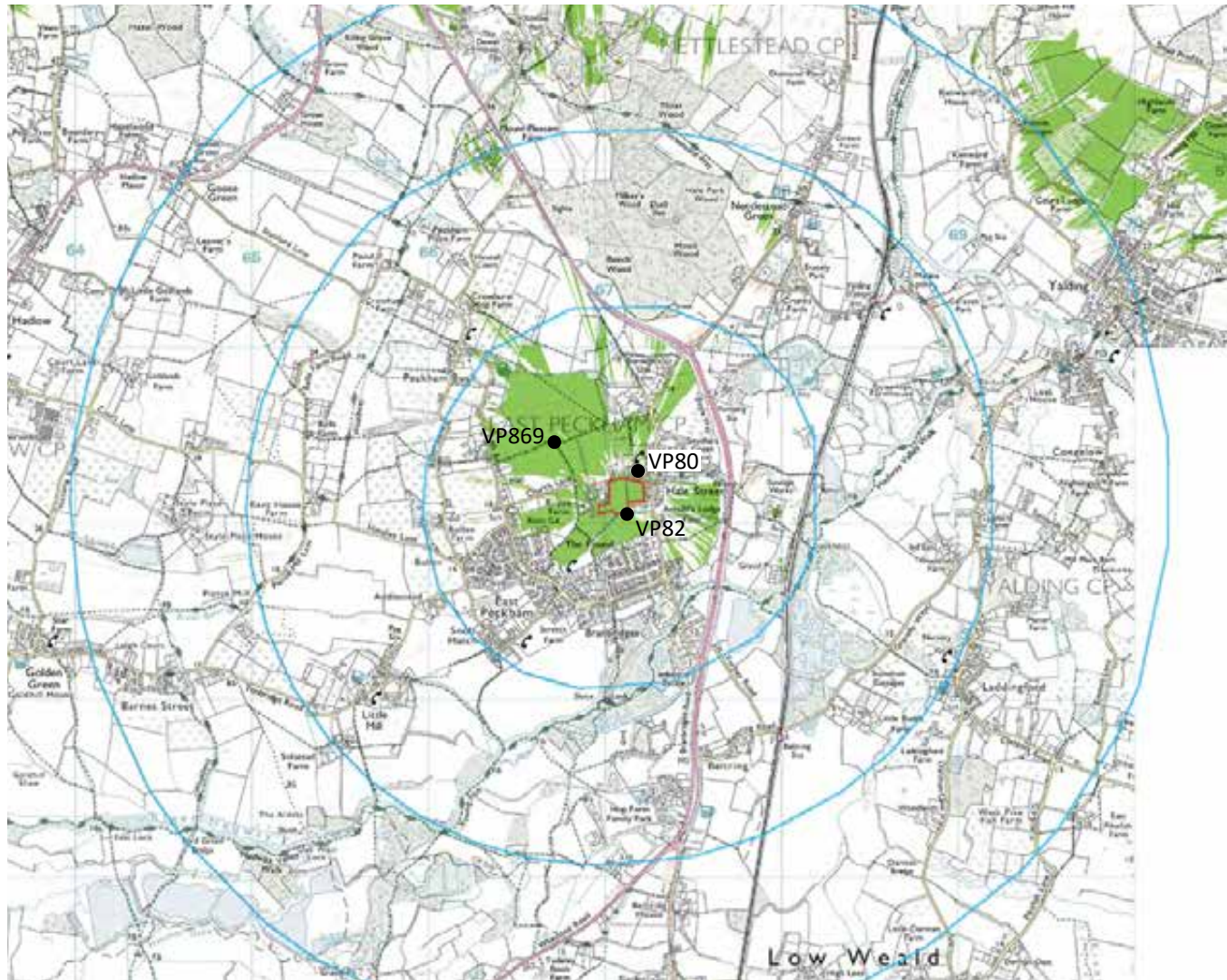
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

68376 - ZTV and Viewpoint Locations

Proposed development type: Residential



Key

- Site boundary
- VPxx Viewpoint location and number
- ZTV
- Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68376 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape, ranging from approximately 500m to 2km, however site investigation and field work demonstrate that the most distant views would be only partial views of the proposed development. Potential visibility is primarily limited to close and mid-range views from the north, north-west and south-east. Large scale development typology is deemed inappropriate for the site and has not been assessed.

Long range views are obstructed by a combination of built form, topography and mature field boundary vegetation, which provide effective screening from more distant receptors, particularly from the south.

Mid distance views (VP869) open up form from PRoW connecting Bush Road and Hale Street (MR534 and MR530) as the land rises to the north. This would provide some filtered views of parts of potential proposed development. Established field hedgerow and tree groupings, together with residential dwellings along Church Lane, provide partial screening from these locations.

Close range views into the site are primarily from Church Lane (VP80) and the public footpath which connects Hale Street with Pound Road that runs along the southern boundary (VP82). The southern public footpath offers the most open and consistent views of the site across its entire length. Intermittent close range views from the junction of Hale Street and Church Lane are available through a gap in the built form, though these are limited in extent. Elsewhere along Hale Street, views of the site are largely screened by residential development along the road.

The overall visual effects at these locations would be affected by any development, with small scale development typology ranging from Minor to Major-Moderate adverse and medium

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP869 - PRoW MR534 junction with MR535 looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate- Minor Adverse	N/A
VP80 - Church Lane	Moderate	Recreational: Moderate/Low Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP82 - View into the site from PRoW running along the southern boundary	Moderate	Recreational: High/Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse	N/A

Note: * Assessments based on effects without mitigation

scale development typology ranging from Moderate-Minor to Major adverse.

With the site fronting onto Church Lane small to medium scale development typologies would be partially visible from the road and surrounding area. Existing on site and boundary vegetation provides valuable screening and should be retained and enhanced where possible to minimise visual impact of potential development. Additional structural planting, including hedgerows and grouped native tree species, should be introduced along the more open boundaries to filter direct views, especially from the public footpath along the southern edge.

Development should be guided by a landscape led approach, responding to the surrounding character. Built form should

be carefully articulated to reduce visual bulk and appropriate setbacks from sensitive edges should be taken into consideration. Road layout and access design should respect existing landscape patterns and minimise unnecessary visual intrusion.

Overall, with appropriate mitigation measures and careful design, the site has the capacity to accommodate small scale development typology without resulting in significant adverse visual effects, particularly when viewed in the context of the existing settlement character. Medium scale development typology would generate adverse visual effects that could not be successfully mitigated.

Visual Impact Appraisal

68376 - Viewpoint Images

VP869 - PRoW MR534 junction with MR535



VP80 - Church Lane

Approximate site extent



VP82 - View into the site from PRoW running along the southern boundary

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68376 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow East Peckham Low Weald Fruit Belt	EHS01	No	Low	Small: Medium- Low Medium: High- Medium Large: High	Small: Medium- Low Medium: High-Medium Large: High	Moderate	Substantial	N/A	Moderate Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA EHS01, an area identified as having Medium–Low sensitivity for small scale and High–Medium sensitivity to medium scale residential development typologies. This reflects a moderate capacity for development without significantly affecting key landscape characteristics. Large scale development typology is deemed inappropriate for the site and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising open agricultural fields enclosed and subdivided by hedgerows and linear vegetation. Any proposed development would alter the existing vegetation, however the loss would be limited. The site is open in character and this is the main perceptual landscape characteristic, alongside the sense of rurality and tranquillity, which are typical to the area's character, that would be altered and lost through the introduction of built form and associated hard surfacing.

These changes would have a Moderate adverse impact in the case of small scale residential development typology and a Major adverse impact for medium scale development typology. With the site located on the edge of the settlement, small scale residential development typology could be successfully accommodated with appropriate mitigation. The surrounding settlements of East Peckham, Hale Street, and Snoll Hatch already form a pattern of coalesced development interspersed with open land, offering opportunities to absorb new housing without substantial character loss. Despite this a medium scale development would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Mitigation measures should enhance the local landscape structure through retention and enhancement of existing hedgerow planting, the introduction of boundary planting, especially along more sensitive edges, and tree groupings would support integration of a small scale residential development typology. While this type of development would result in some localised landscape effects, these impacts would be limited in extent and could be effectively mitigated through sensitive design and strategic landscaping. Careful attention should be given to the proposed layout, including access roads and development density, to ensure alignment with existing landscape patterns and to preserve the character of the area.

Visual and Landscape Impact Appraisal

Proposed development type: Residential

68376 - Summary of Visual and Landscape Effects

Landscape and Visual Appraisal Conclusions

Overall, the site is visually contained and on the edge of existing settlement, offering a suitable location for limited development.

With medium–low sensitivity, small scale residential development can be integrated with effective mitigation, visual impacts would be localised and largely manageable.

Small scale residential development typology is appropriate given the site's Medium–Low sensitivity, limited visibility, and existing residential context. Localised impacts could be effectively mitigated through retention and enhancement of existing vegetation and sensitive design, careful planning of layout and density.

Medium scale residential development typology faces higher sensitivity and greater risk of adverse effects on local character and views, particularly from the southern footpath. Although some screening exists, the scale may exceed the landscape's capacity even with strong mitigation.

In summary, the site is visually contained and partly enclosed by development, offering a suitable location for a small scale residential development typology subject to high quality design and effective landscape integration. Medium scale development typology is inappropriate as adverse landscape and visual impacts could not be adequately mitigated.

Settlements: East Peckham, Snoll Hatch and Hale Street

Proposed development type: Employment

Site: 68462 - Land east of Maidstone Road, Hale Street

Parish: East Peckham

Ward: East and West Peckham, Mereworth & Wateringbury

The site is located along Hale Street, with its western boundary fronting the road. The northern part of the site adjoins a vacant parcel of land, separated by a ditch, and to the northeast it borders the A228 (Boyle Way). Most of the eastern boundary abuts a vegetated area, while the southern boundary adjoins Beechwood Close and the rear gardens of residential properties along Hale Street.



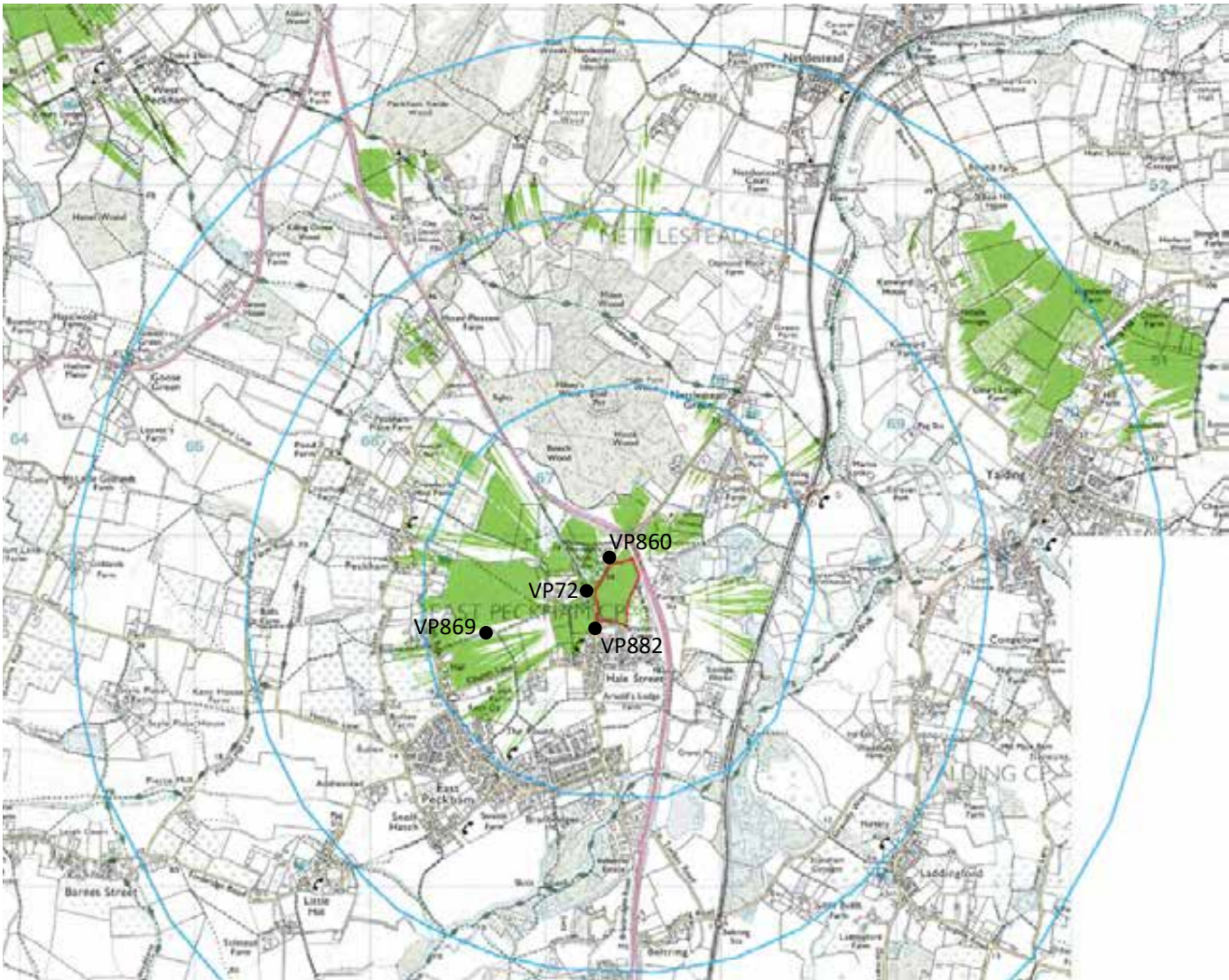
Site location plan

Base image: Google Maps (2025)

Visual Impact Appraisal

68462 - ZTV and Viewpoint Locations

Proposed development type: Employment



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Employment

68462 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary up to 3km to the north-east, some views towards the north, with the majority of the views contained within 1km distance from the site to the west and north. Site investigation and field work demonstrate that the more distant views in the proximity of the site would offer only partial views of parts of the potential development in summer, with the most prominent views from the site boundary. The ZTV is based on summer conditions and, for this site, it can be expected that the extent of winter views of a potential development in views from the more elevated ground to the west, albeit partial ones filtered by some vegetation and buildings, would be more extensive. There are no obvious views towards the south and east.

Mid distance views from the west are primarily from open fields beyond Hale Street. There are a number of public footpaths that run across these fields providing opportunities for some elevated views towards the site. These views are within 1km of the site, however any potential development would only be partially visible from these locations over the tops of planting and houses along Hale Street (VPx1). The western boundary is predominantly open and the limited existing shrub planting is not substantial enough to provide much screening. The potential overall visual effects would be Moderate adverse for medium development typology and Major-Moderate adverse for large scale development typology.

Close range views from Hale Street are for most part open, especially on the approach from the north (VPx2). No boundary vegetation along the northern most part of the site provides unobstructed views in and any potential development would be seen in its entirety. Further along the boundary some screening is provided in the form of a linear group of shrubs in

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect (Significance) by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP869 - PRoW MR530 looking east	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	N/A	Moderate	Substantial	N/A	Major- Moderate Adverse	Major Adverse
VP860 - Hale Street looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	N/A	Very Substantial	Very Substantial	N/A	Major Adverse	Major Adverse
VP71 - Hale Street junction with Seven Mill Lane looking east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	N/A	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse
VP72 - Hale Street looking east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	N/A	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse
VP822 - Hale Street looking north	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	N/A	Negligible	Slight	N/A	Minor Adverse	Moderate- Minor Adverse

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

68462 - Summary of Visual Effects

Proposed development type: Employment

the central part of the site (VP72). With the road curving along the boundary this planting provides a level of screening of the northern part of the site. Further south, residential dwellings and hedge and tree planting provide a good visual buffer to the south-western corner of the site as it steps back behind the dwellings (VPx3). The overall visual effects along Hale Street vary from Minor to Major adverse for medium scale development typology and Moderate-Minor to Major adverse for large scape development typology.

With strong existing screening along the eastern boundary

and some screening along the western and southern boundaries, development could be accommodated on the site with additional mitigation along Hale Street, to lessen any visual impact. With careful consideration of massing and layout, a medium employment typology could be successfully integrated if set back form the western edge of the site. A large scale development typology would be difficult to accommodate even with mitigation.

Visual Impact Appraisal

68462 - Viewpoint Images

VP860 - Hale Street looking south

Approximate site extent



VP71 - Hale Street junction with Seven Mill Lane looking east

Approximate site extent



VP72 - Hale Street looking east

Approximate site extent



Visual Impact Appraisal

68462 - Viewpoint Images

VP882 - Hale Street looking north

Approximate site extent



Landscape and Visual Impact Appraisal

Proposed development type: Employment

68462 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by typology*	Landscape Sensitivity by typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
10b: Middle Meadway Floodplain	EHS02	No	Medium	Employment Medium: Medium Large: High-Medium	Employment Medium: Medium Large: High-Medium	N/A	Substantial	Very Substantial	N/A	Major-Moderate Adverse	Major to Major+ Adverse

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within EHS02, which has been assessed as having Medium sensitivity to medium scale employment typologies and High-Medium sensitivity to large scale employment typology.

The site is currently an arable field however prone to flooding in the northern and western part of the site. There is no notable vegetation on the site other than some hedgerow planting along the western boundary. The main landscape changes would be change in use, loss of its openness, potential loss of boundary planting and partial urbanising effect on the countryside, however in the context of existing settlement.

These changes would have a Major-Moderate adverse impact in the case of medium employment typology and Major to Major+ adverse impact for large employment typology.

Medium scale employment typology on the site would require carefully considered design responses to ensure successful integration into the current context. Appropriate spatial planning and massing, responsive to the partial flooding nature of the site, along with the introduction of landscape features typical of the area, would be key in integrating development into its setting. In particular, the treatment of the open western boundary and interface with residential dwellings would be crucial. Large scale employment typology is deemed inappropriate for the site, as the scale and intensity of such development would have adverse landscape impacts that could not be adequately mitigated.

Landscape and Visual Appraisal Conclusions

The site exhibits Medium to High-Medium landscape sensitivity and has limited visibility from the surroundings, but there would still be a series of views that would be impacted close to the site. Any potential development would need to seek to mitigate the visual effects on views from the west through the provision of strategic buffer planting along the western boundary.

A medium scale employment typology could be accommodated, provided that adequate mitigation measures are implemented. With thoughtful design, carefully considering building layout, massing, scale and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development.

Large scale typology is not considered suitable for this site. The scale and intensity of such development would be inconsistent with landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

In summary a medium scale development typology would be appropriate, subject to high quality design and effective landscape integration. Large scale development typology is inappropriate as adverse landscape and visual impacts could not be adequately mitigated.

Eccles

Settlement: Eccles

Settlement overview

Eccles is a small village that lies on the eastern bank of the River Medway. The settlement and surrounding area exhibit a distinctive blend of natural and human-modified landscape features that reflect both its rural setting and historical development.

The topography is gently undulating, with the village itself occupying a relatively low-lying position close to the river valley of the Medway. The terrain gradually rises to the north-east, forming wooded slopes and arable farmland, while the river valley provides a natural corridor with flatter ground suitable for settlement and agriculture.

The area is predominantly rural in character, with a patchwork of fields, hedgerows, and woodland. The proximity to the River Medway has historically influenced both land use and transport. Gravel extraction and quarrying in the surrounding area have also shaped parts of the landscape, leaving some re-landscaped areas and artificial lakes.

Eccles is a compact, nucleated village, with most of the settlement concentrated along a few principal streets. It originated as a small agricultural and industrial community, historically tied to the nearby burial and Roman villa sites, as well as to chalk and clay extraction industries, particularly during the 19th and early 20th centuries.

The housing stock is mixed, comprising Victorian and Edwardian terraces alongside 20th-century suburban developments. In recent decades, some infill development and modest expansion have occurred, but the village has retained its semi-rural character. The street pattern is relatively simple, with modern cul-de-sacs branching from older roads.

Eccles presents a tranquil rural environment defined by its location within the Medway valley, with a landscape that transitions between river floodplain and upland agricultural land. The village has evolved from an industrial and agricultural past into a largely residential community.

Planning consent has been granted for a large residential development that includes land to the north-west, west and



Site location

Base image: Google Maps (2025)

south of the village. The northern part of which adjoins this site along Bull Lane. When completed this development will significantly change the existing landscape context of Eccles and of the site.

Settlement: Eccles

Proposed development type: Residential

Site: 59702 - Land Opposite Hale House, Pilgrims Way

Parish: Aylesford

Ward: Aylesford North & North Downs

The site lies on the north-eastern border of Eccles and directly south of the border with Kent Downs National Landscape. The site comprises of a number of small paddocks along with associated equestrian facilities, including stables, and a menage. The paddocks are sub divided by timber post and rail fences, however some hedgerows run in the north-west to south-east direction sub dividing them into smaller groupings. A small number of trees are present within the site, while the most notable vegetation is concentrated along the boundaries, particularly the south-western and southern edges.

The north-western boundary runs along Bull Lane, the main road into Eccles, which is lined with a hedge. A footpath runs on the other side of the hedge, along the northern boundary, which is formed with a post and wire fence with sporadic shrub and tree planting. The south-western boundary adjoins the settlement edge. To the south-east, the site borders a large agricultural field. Access to the site is from the north off Pilgrims Way, leading to the stables.

A public footpath cuts diagonally across the site from the northern to the southern corner. It provides a pedestrian route from Blue Bell Hill Picnic Site to Eccles and further towards Aylesford. An overhead powerline 400kV crosses the site, with a pylon located in the southern part of the site.



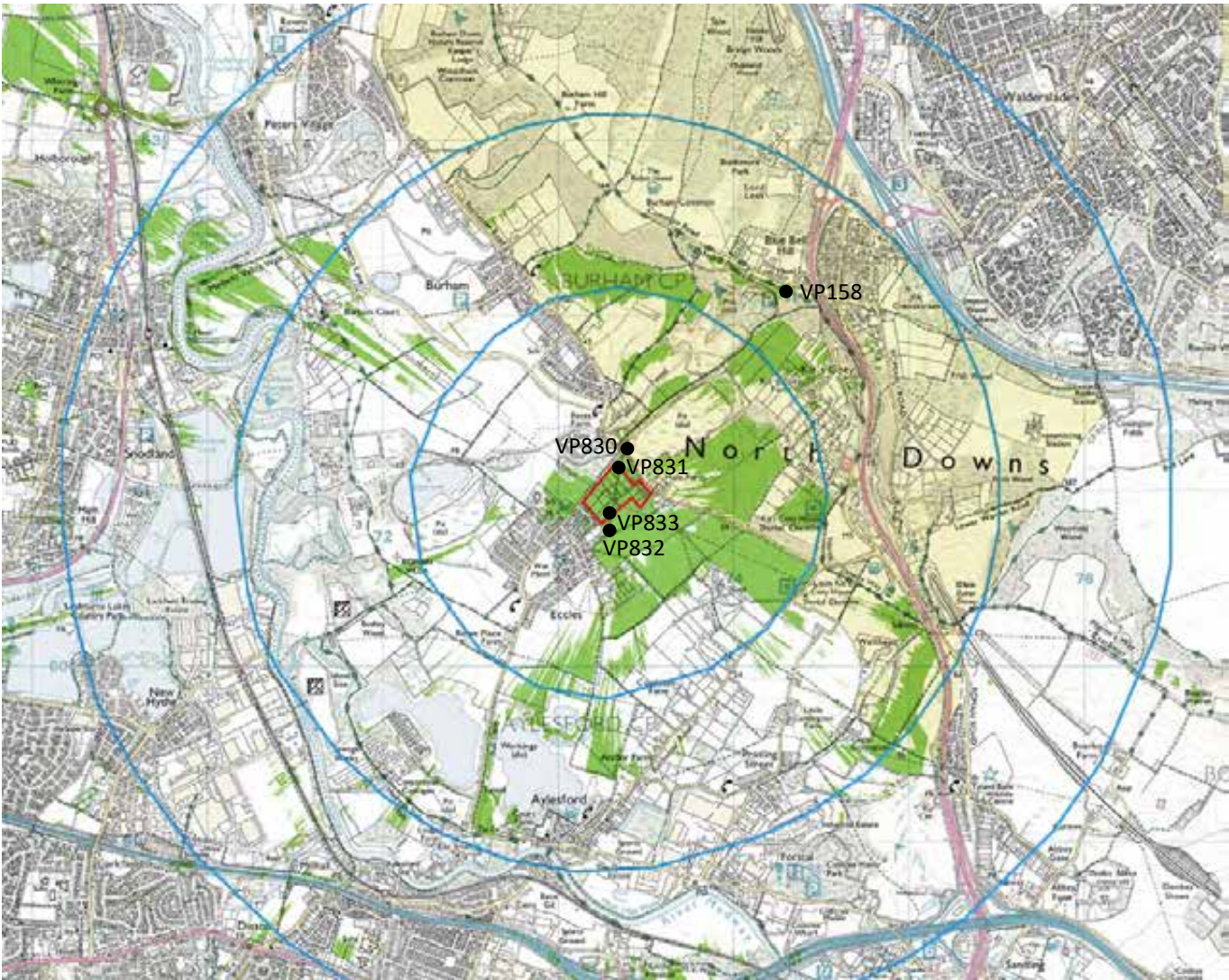
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

59702 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59702 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible from within in the surrounding landscape. While the theoretical viewshed extends mainly to the south- east, south and north, within around 1km the viewshed extends beyond in the north-west and south to south-east direction. Site investigation and fieldwork demonstrate that the more distant views would be only potentially be highly restricted views of a few roofs of the proposed development. On the ground, the key views are localised and from the Public Right of Way to the south-east, along Bull Lane and cutting across the site. Views from the PRoW the north are restricted by tree planting and the undulating topography. Views from Bull Road and Pilgrims Way are heavily screened by hedgerow and tree planting. Long distance views are available from the elevated grounds in the Kent Downs. The site is clearly visible from Blue Bell Hill picnic area (VP158), about 1.5km away, although broken up by the intervening vegetation and partially screened by a woodland block to the north of the site. Any development would be visible in almost its entirety from this location, although the roof pattern would blend into the village beyond. The recently consented development around Eccles will increase the quantum of development in this view. This would reduce the visual effects of an potential development on the site.

The overall visual effects would be Major-Moderate adverse for both small and medium scale development typologies. Mid distance views are screened to the north-east by blocks of woodland on the opposite side of Bull Lane and similarly to the north of Pilgrims Way. The dense tree planting provides visual protection to views from these directions within the 1km radius from the site. Views from the public footpaths that run through Kit's Coty vineyard to the south-east are well protected by intervening field boundary hedgerow planting

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP158 - Blue Bell Hill picnic area looking south	Very High	Recreational: High Susceptibility Very High Sensitivity	Slight	Slight	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A
VP830 - Footpath along Rochester Way looking south	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Slight	Moderate	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP832 - PRoW leading to site from Mackenders Lane looking north	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Slight	Moderate	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP831 - PRoW across site at northern boundary looking south	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Substantial	Substantial	N/A	Major Adverse	Major Adverse	N/A
VP833 - PRoW across site at southern boundary looking north	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Substantial	Substantial	N/A	Major Adverse	Major Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59702 - Summary of Visual Effects

Proposed development type: Residential

and the undulating nature of the topography in the area.

Close range views from Pilgrims Way (VP830) and from the public footpath approaching the site from the south corner (VP832) are largely obstructed in summer by hedges along the site boundaries. The views from the PRoW on the approach from the south include scenic long views of elevated parts of the North Downs. Views of development from these locations would only be partial views of the upper levels and rooflines. Views from the PRoW crossing the site are open on the northern part of the site (VP831) and similarly when looking from the south (VP833), however these views are only of parts of the site, as the views are broken up by hedgerows which run the full width of the site, sub dividing it into smaller groups of paddocks. Any potential development would be seen in most parts within the open areas along the footpath, however views of areas beyond the hedges would be screened and filtered. The site is also visible in large from the

footpath running along Bull Lane. From here the views are primarily unobstructed, with only sporadic planting along the boundary. The overall visual effects of development from these locations would be Moderate to Major adverse for small scale and Major-Moderate to Major adverse for medium scale residential typology.

The extent of the visual effects would be relatively constrained but there would still be a series of views that would be significantly impacted close to the site. Any development would need to seek to minimise the greatest of these visual effects by locating development in the southern most part of the site, where it meets the edge of the settlement. Strategic buffer planting located in the northern part of the site should be provided to minimise impact on the long views from the National Landscape.

Visual Impact Appraisal

59702 - Viewpoint Images

VP158 - Blue Bell Hill picnic area looking south

Approximate site extent



VP830 - Footpath along Rochester Way looking south

Approximate site extent



VP832 - PRoW leading to site from Mackenders Lane looking north

Approximate site extent



Visual Impact Appraisal

59702 - Viewpoint Images

VP831 - PRoW across site at northern boundary looking south

Approximate site extent



VP833 - PRoW across site at southern boundary looking north

Approximate site extent



Landscape and Visual Impact Appraisal

Proposed development type: Residential

59702 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
4b: Eccles East Vale	ECC02	No	High	Small: Medium Medium: High-Medium Large: High	Small: High-Medium Medium: High-Medium Large: High	Substantial	Very Substantial	N/A	Major-Moderate to Major Adverse	Major to Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA ECC02, which has High-Medium landscape sensitivity to both small and medium scale residential development typologies. The large scale development typology is considered inappropriate in this location and has not been assessed.

This site is made up of a large number of small, fenced pony paddocks with an area of stabling and a menage. There are some boundary hedgerows with small tree groups within the site but otherwise, the only notable vegetation is along the site's boundaries, mainly the southern boundary with the residential properties of Eccles and along the adjacent field to the south-east. The site rises gently from south to north. The southern edge of the site abuts the settlement edge, which is well vegetated. The eastern edge lies against open countryside, however is defined by a dense hedgerow. The context is essentially rural, although the recently consented development to the west of Bull Lane will, together with the existing settlement edge, partly enclose the site to the west and will partly reduce the site's sense of rurality.

The main landscape changes would be the loss of the pony paddocks and stabling area, change in use of the site and loss of its openness and rural quality, and partial urbanising effects of development on countryside, although on the edge of existing settlement. Potential development in the northern- eastern parts of the site would significantly compromise the sense of rurality and remoteness. These adverse perceptual effects would also translate to the National Landscape to the north-east of Pilgrim's Way. This would be harmful to the character of this part of the National Landscape.

The landscape changes would have an overall Major-Moderate to Major adverse impact in the case of small scale residential development, and a Major to Major+ adverse impact for medium scale development typology.

Although the site is located in the setting of National Landscape, the presence of existing residential dwellings immediately to the south-west suggests that small scale residential development could be accommodated with appropriate mitigation in the southern most part of the site. The presence of high voltage overhead cables will also influence the potential area for development.

A carefully considered design approach, incorporating sensitive siting of buildings, road layout and access, alongside the use of landscape features reflective of local landscape character, especially in the northern parts of the site, could help integrate development and reduce its impact on the landscape. There is also opportunity to provide mitigation in the form of a woodland block in the northern corner, that would be an overall enhancement for the site, settlement beyond and the National Landscape.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59702 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The site being within the setting of the National Landscape, exhibits high visual and landscape sensitivity. Although the extent of the visual effects would be relatively constrained but there would still be a series of views that would be significantly impacted close to the site. Development would generate overall visual effects that would alter the composition of views and the have negative effects on the wider visual amenity. Any development would need to seek to minimise the greatest of these visual effects through locating development in the southern most part of the site and the introduction of strategic buffer planting.

A small scale residential development typology could be accommodated in the south-western part of the site, along the settlement edge, to reduce the loss of key landscape characteristics on the site, including the sense of rurality, openness, and tranquillity. Locating development in the southern part provides an opportunity to introduce meaningful visual and landscape mitigation and enhancement in the north-eastern part fronting onto the Kent Downs National Landscape.

Medium scale development typology is inappropriate at this site as this development type would be out of keeping with the adjoining settlement character and would be likely to give rise to significant landscape harms on the countryside.

In summary, development on the site is possible in part of the site, with appropriate mitigation to address the adverse landscape, and visual impacts on the setting of the National Landscape.

Settlement: Eccles

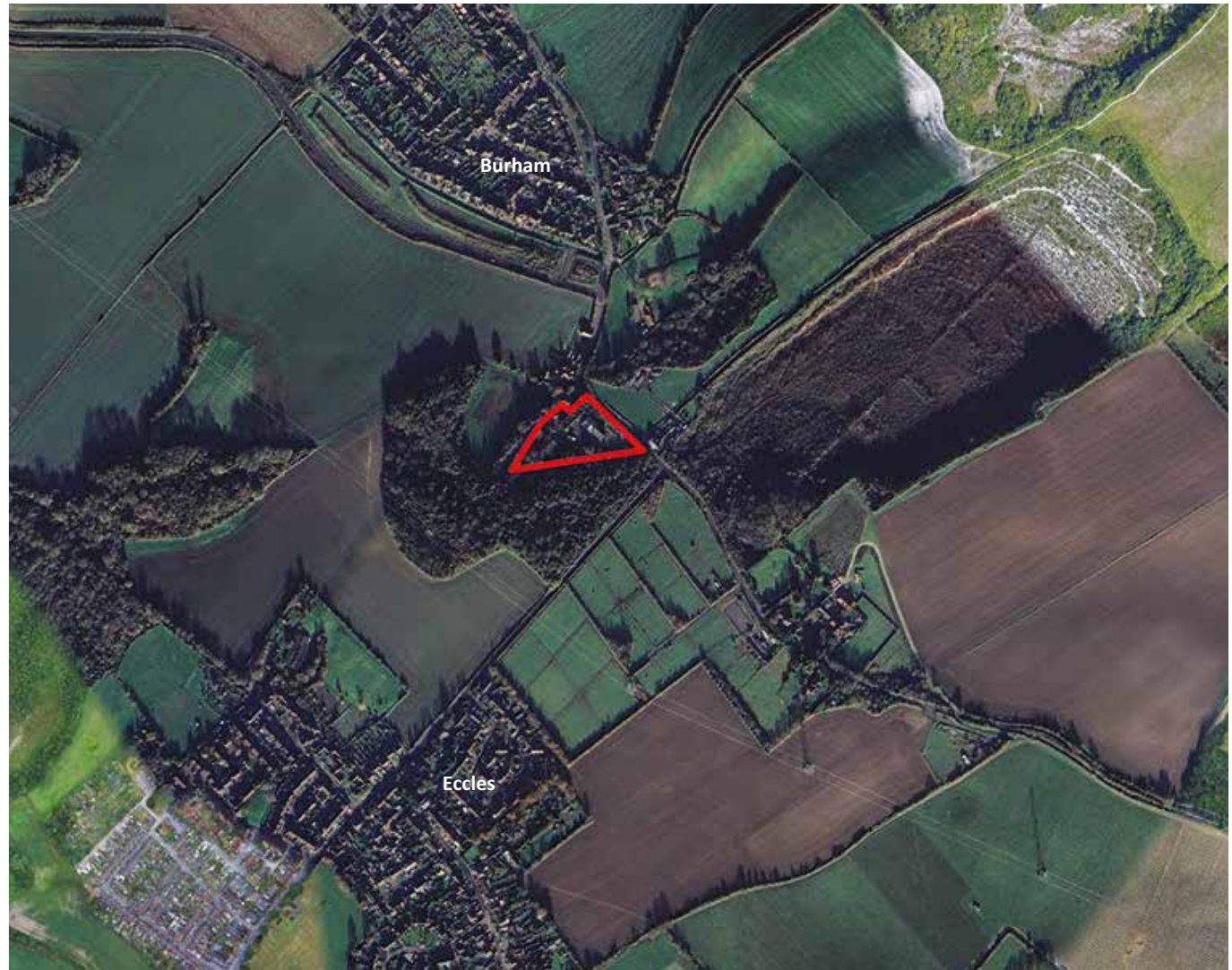
Site: 68445 - Land At Culand Farm, Pilgrims Way

Proposed development type: Mixed

Parish: Aylesford

Ward: Aylesford North & North Downs

The site lies on Rochester Way, in between the villages of Eccles and Burham. Kent Downs National Landscape is directly north-east of the site as the boundary runs along Pilgrims Way/Rochester Road. The site is a triangular plot of land which fronts the road and then continues south-west. From the south it borders with a woodland block which hugs the full extent of this edge. A densely planted hedgerow with trees runs along Rochester Road, which forms a strong physical and visual boundary along the north. There are a number of buildings located on the site. These are in the north-west and south-west corner, however thanks to the site falling from the north-east to the north-west corner they are well screened from the road.



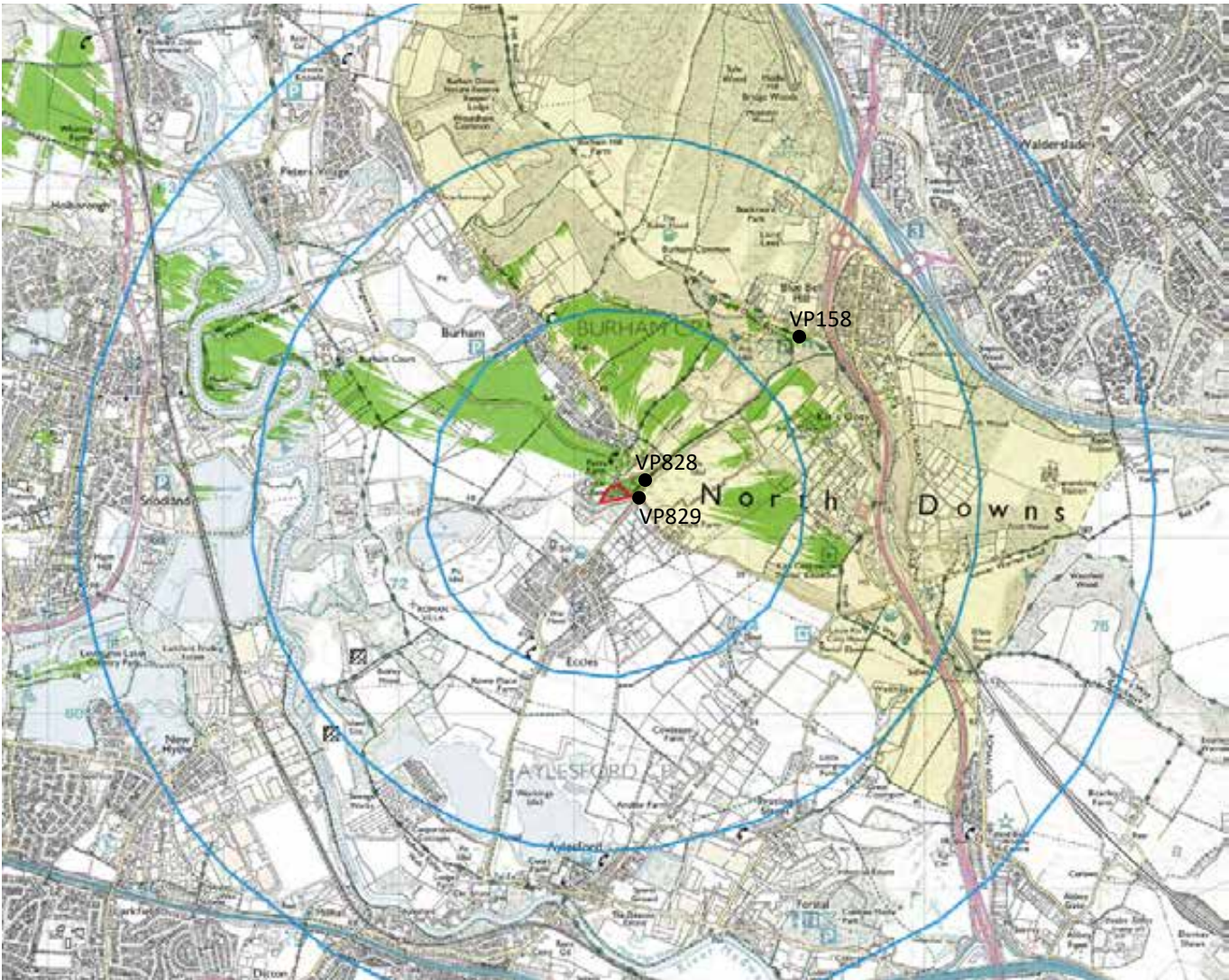
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

68445 - ZTV and Viewpoint Location Map

Proposed development type: Mixed



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Mixed

68445 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible from within in the surrounding landscape. While the theoretical viewshed extends in all directions within around 1km and even beyond 3km to the north-west, site investigation and fieldwork demonstrate that the majority of the views would be highly restricted views of a few roofs of the proposed development. On the ground, the key views are from the elevated ground in the North Downs and localised from the immediate surroundings. Views from the PRoW to the north are restricted by tree planting and the undulating topography. Views from Bull Road and Pilgrim's Way are heavily screened by hedgerow and tree planting. Long distance views are available from Blue Bell Hill picnic area (VP158), less than 1.5km away, although broken up by the intervening vegetation and partially screened by the dense and tall hedgerow along the north of the site. Any development would be visible in almost its entirety from this location. The recently consented development around Eccles will increase the quantum of development in this view. This would reduce the visual effects of an potential development on the site. The overall visual effects would be Moderate adverse for small an Major-Moderate adverse for both medium and large scale development typologies.

Mid distance views are screened to the north-east by blocks of woodland that runs along Bull Lane and similarly to the north of Pilgrims Way in the old quarry pit. The dense tree planting provides visual protection to views from these directions within the 1km radius from the site. Views from the public footpaths that run through Kit's Coty vineyard to the south-east are well protected by intervening field boundary hedgerow planting and the undulating nature of the topography in the area. Despite the viewshed extending all the way too Peter's Village, the views from this directions are significantly lower in elevation and obstructed by intervening boundary vegetation

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP158 - Blue Bell Hill picnic area looking south	Very High	Recreational: High Susceptibility Very High Sensitivity	Negligible	Slight	Slight	Moderate Adverse	Major- Moderate Adverse	Major- Moderate Adverse
VP828 - PRoW north off Rochester Road leading up to Blue Bell Hill looking west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Moderate	Moderate	Substantial	Major- Moderate Adverse	Major- Moderate Adverse	Major Adverse
VP829 - Rochester Road looking west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Moderate	Moderate	Substantial	Major- Moderate Adverse	Major- Moderate Adverse	Major Adverse

Note: * Assessments based on effects without mitigation

and the woodland block which wraps around the site and continues north-east.

Close range views from the public footpath coming down from Blue Bell Hill (VP828) provide obstructed views of the upper most parts of the buildings on site, suggesting that any potential development would be similarly visible from here. The dense hedgerow that runs along the northern boundary screens the lower part of the building which is located at the highest part of the site, however the buildings behind and located in the lower part of the site are very well protected from these views. From Pilgrims Way (VP829) and from the public footpath approaching the site from the south corner (VP829) the site is largely obstructed in summer by the dense hedge along the road and the woodland block immediately to the south-east of the site. The view here opens up through the

access gate into the site, therefore views from the approach from the south-east would provide an opportunity for a glimpse into the site. On the approach from Burham, the site is undetectable behind the hedge. The overall visual effects of development from these locations would be Moderate to Major-Moderate adverse for small and medium scale development typologies and Major adverse for large scale development typology.

The extent of the visual effects would be relatively constrained but there would still be a series of views that would be significantly impacted close to the site. Any development would need to seek to minimise the greatest of these visual effects through setbacks of the development and strategic buffer planting, especially along the northern edge to minimise impact on the long views from the National Landscape.

Visual Impact Appraisal

68445 - Viewpoint Images

VP158 - Blue Bell Hill picnic area looking south

Approximate site extent



VP828 - PRoW north off Rochester Road leading up to Blue Bell Hill looking west

Approximate site extent



Visual Impact Appraisal

68445 - Viewpoint Images

VP829 - Rochester Road looking west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Mixed

68445 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
1b: Kent Downs Burham Scarp	ECC01	No	Medium	Residential Small: Low Medium: Medium Large: High-Medium	Residential Small: Medium-Low Medium: Medium Large: High-Medium	Substantial adverse	Very Substantial adverse	N/A	Major-Moderate to Moderate Adverse	Major Adverse	N/A
1b: Kent Downs Burham Scarp	ECC01	No	Medium	Employment Medium: Medium Large: High-Medium	Employment Medium: Medium Large: High-Medium	N/A	Slight adverse	Moderate adverse	N/A	Moderate-Minor Adverse	Moderate to Major-Moderate Adverse

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA ECC01, which has Medium-Low landscape sensitivity to small and Medium landscape sensitivity to medium scale residential development typology. The large scale residential development typology is deemed inappropriate in this location and has not been assessed.

It also presents a Medium landscape sensitivity to Medium scale employment typology and High-Medium landscape sensitivity to large scale employment typology, however the large scale is deemed inappropriate for the site and has not been assessed.

The site is currently occupied by a number of farmstead buildings which take up a large area of the site, the remainder of the plot is gravel yard. A couple of small trees are located adjacent to the buildings, and a dense hedgerow with trees runs along the north-eastern boundary along Rochester Road. A woodland blocks abuts the full length of the southern boundary and continues beyond the adjacent field to the north-west. The site is nestled into the woodland which otherwise sits with in an open field pattern.

The main landscape changes would be the loss of onsite tree planting, change in use of the site and loss of its rural character and quality, and partial urbanising effects of development on

countryside away from the existing settlement. These adverse perceptual effects would also translate to the National Landscape to the north of Pilgrim's Way and would be harmful to the character of this part of the National Landscape.

The landscape changes would have an overall Major-Moderate to Moderate adverse impact in the case of small scale residential development and a Major adverse impact for medium scale development typology. There would also be an overall Moderate-Minor adverse impact in case of medium scale employment and Moderate to Major-Moderate adverse impact for large scale employment typologies.

The site presents an opportunity to introduce a mix of small scale residential and medium employment typologies, provided that the existing boundary planting will be retained and enhanced and the amount of hardstanding reduced to provide space for additional landscape features to be introduced.

Medium scale residential and large scale employment typologies are deemed inappropriate for the site as the scale and intensity of such development would have adverse landscape impacts that could not be adequately mitigated.

Landscape and Visual Impact Appraisal

Proposed development type: Mixed

68445 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be relatively minimal thanks to the enclosed nature of the site, however views from the elevated National Landscape would be most affected. Any development would need to seek to minimise the greatest of these visual effects through setbacks of the development and strategic buffer planting.

There is some potential for the small scale residential development typology alongside a limited medium scale employment typology at this site, although considerable care would be needed at the site's northern edge, to minimise the visual impact to views from the National landscape and provide landscape enhancements in the National Landscape setting.

Medium and large scale residential and large scale employment typologies are inappropriate at this site as this development type would be out of keeping with the adjoining settlement character and would be likely to give rise to significant landscape harms on the setting.

Hadlow

Settlement: Hadlow

Settlement overview

Hadlow is a picturesque village which lies in the fertile valley of the River Medway and is surrounded by a gently undulating landscape typical of the Low Weald region. The area is predominantly rural, with the landscape shaped by a mix of arable farmland, pastures, orchards, and scattered woodland. The topography consists of soft, rolling hills and low-lying floodplains, particularly near the River Medway and its tributary, the River Bourne. These watercourses contribute to the area's lush, green appearance and play a role in the local ecology and occasional flooding patterns. The soils are largely alluvial, making the land especially suitable for agriculture and horticulture, which has historically defined the character of the countryside around Hadlow.

The village itself developed as a linear settlement along the A26, the main road that connects Tonbridge and Maidstone. Its historic core is focused around St. Mary's Church and the notable Hadlow Tower, also known as Hadlow Castle, a striking example of Gothic Revival architecture and one of the tallest follies in Britain, all captured within a Conservation Area.. The built environment reflects a mix of architectural styles, including Georgian and Victorian properties, along with modern housing developments that have been integrated into the village fabric with relative sensitivity. While residential expansion has occurred, Hadlow has largely maintained its compact form, avoiding extensive sprawl and preserving its distinct rural character.



Site location

Base image: Google Maps (2025)

Settlement: Hadlow

Proposed development type: Residential

Site: 59647 - Land North of Court Lane and rear of (East of) Chesfield Close

Parish: Hadlow
Ward: Bourne

The site is located on the eastern edge of Hadlow. It comprises of a regular shaped agricultural field which is located directly behind residential properties fronting onto Tonbridge Road (A26) and Court Lane. It has a limited direct frontage onto Court Lane along the south-eastern corner, however it is separated from the road with a well established hedgerow, that provides a strong physical and visual edge. The northern boundary is formed by a tree line, which separates the site from the fields beyond. Along the east, it borders with land related to the light industrial warehouse and a residential property and is open, with only a fence defining the boundary. The historic town centre and Conservation Area are located to the south of Courts Lane, however the northern most boundary of the conservation area abuts the site in the south-west corner.



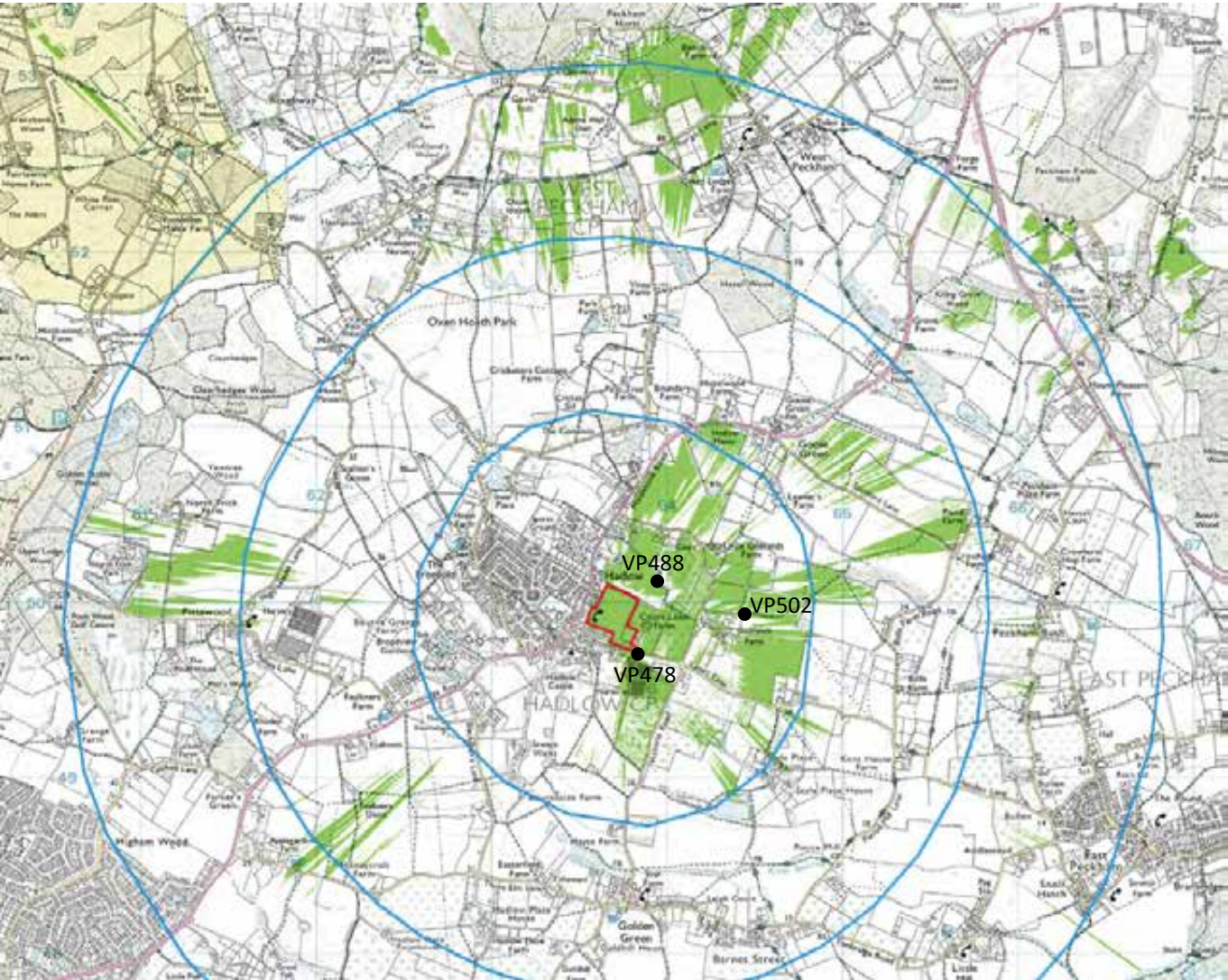
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

59647 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59647 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary to 3km to the north, up to 2km to the north-east, however the majority of the views are contained within 1km in the north-east direction. Site investigation and field work demonstrate that the long views from the elevated areas and mid distance views from closer to the site would offer only partial views of parts of the potential development due to the intervening woodland blocks and tree cover. There are no views towards the site from the immediate surroundings to the north, west and south. The enclosed character of the site, with residential development to the south and west and the well-vegetated edge to the north, means that the theoretical viewshed is restricted mainly to the site's immediate edges with some partial views towards the south-eastern corner. The large scale development typology is considered inappropriate in this location and has not been assessed.

Long distance views towards the north extend up beyond West Peckham, as the topography rises towards Mereworth Woods. From Stan Lane and public footpaths running down the slope from Swanton Road in the southern direction the site is screened by tall tree blocks. Any development typology would be difficult to see through the intervening planting during the summer months, however there could be potential for some filtered views during winter months. These views are very distant and towards the settlement, therefore potential development would be difficult to distinguish in its setting.

Mid distance views towards the site from the public footpaths to the east (VP502) and north of the site (VP488) are heavily screened by tree groups, belts and boundary hedgerow planting in the vicinity and along the northern boundary of the site. Any views would only be partial views of parts of potential development. The top of the Hadlow Tower does appear in

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP502 - PRoW adjacent to Gablands Farm looking south-west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate Adverse	Moderate Adverse	N/A
VP488 - PRoW between Cementary Lane and Maidstone Road looking south	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Negligible	Slight	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP478 - Court Lane looking north-west	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59647 - Summary of Visual Effects

Proposed development type: Residential

these views and is a prominent feature in the landscape. The overall potential visual effects at these locations would be Moderate adverse for small and medium scale development typologies.

Close range views from the western and southern edges of the site, along Tonbridge Road and Court Lane are primarily obstructed by residential properties along these roads. The remainder of the interface with Court Lane is visually protected by a hedgerow, which provides a successful visual barrier. Views into the site open up from the access road to the light industrial estate beyond the eastern boundary (VP478), however even here only the southern most part of the site is visible, with the rest is screened by gardens of the residential property located along this route. The overall visual effects from this location would be Moderate adverse for small development typology and Major-Moderate adverse for medium scale development typology.

The extent of the visual effects would be relatively constrained but there would still be an area of open landscape to the south with clear views. Any development would need to seek to maintain the boundary vegetation intact, but this would need additional strategic scale screen planting along the northern and southern edges and along interfaces with adjoining residential properties to reduce the overall visual effects. Mitigation measures should also be introduced to the north and north-east, due to the proximity of the conservation area and the prominence of Hadlow Tower in views from these directions. With the introduction of strategic planting in the form of hedgerows and tree groupings, together with a carefully planned layout, considerate massing and placement of buildings and circulation, a small to medium scale residential development typology could be successfully integrated without undue visual harm and be seen as a natural extension to the settlement pattern.

Visual Impact Appraisal

59647 - Viewpoint Images

VP502 - PRoW adjacent to Gablands Farm looking south-west

Approximate site extent



VP488 - PRoW between Cementary Lane and Maidstone Road looking south

Approximate site extent



VP478 - Court Lane looking north-west

Approximate site extent



Landscape and Visual Impact Appraisal

Proposed development type: Residential

59647 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a Hadlow East Peckham Low Weald Fruit Belt	HAD02	No	Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Moderate	Substantial	N/A	Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA HAD02, assessed as having Medium-Low sensitivity to small and medium scale residential development typologies. This reflects some capacity for development without significantly affecting key landscape characteristics. The large scale development typology is considered inappropriate in this location and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising an open field enclosed by tree and hedgerow planting to the north, however lies directly adjacent to residential dwellings to the west and south. Any proposed development would alter the existing vegetation, however the loss would be limited. The main landscape changes would be the loss of the agricultural land, change in use of the site and loss of its openness and rural quality, and partial urbanising effects of development on countryside, although the site has a sense of urban context at its two edges.

Development changes have been assessed to have a potential Moderate adverse landscape

impact in the case of small scale residential development typology, and Major-Moderate adverse landscape impact for medium scale development typology.

The presence of residential dwellings to the south and west, would justify development on the site, especially if in keeping with the existing settlement pattern. A carefully considered design approach, incorporating sensitive siting, density and layout, along with a sympathetic landscape proposal, could help integrate a small scale development typology and reduce its impact on the adverse effects on the site. Additional landscape features such as dense hedgerow and tree planting reflective of the local landscape character, particularly along the southern and northern boundaries, together with the enhancement of existing vegetation, could help integrate development and reduce its impact on the setting.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey nature of the existing settlement.

Landscape and Visual Appraisal Conclusions

The site is generally well screened from the surrounding landscape and located on the edge of the settlement, providing an appealing location for potential development.

A small scale residential development could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. The presence of existing residential dwellings to the south and west provides built context and development within the site could be considered a natural expansion of the settlement. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development in a way that respects and integrates with the existing landscape character and settlement pattern. Consideration for the setting of the conservation area needs to be given to any development proposals.

Medium scale residential development typology is considered unsuitable for this site. The scale and intensity of such development would be inconsistent with the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Settlement: Hadlow

Proposed development type: Residential

Site: 59776 - Land North of The Paddock and East of Carpenters Lane, Tonbridge

Parish: Hadlow
Ward: Bourne

The site is located on the northern edge of Hadlow. It comprises of an irregular shape field and used for grazing. The land is relatively flat with some gentle undulations typical of the wider rural landscape. The site is enclosed in places by hedgerows and small tree lines, particularly along the northern and western edges. These features provide a degree of natural screening and ecological value. To the south, the site borders existing residential dwellings and a road that runs along a part of the southern boundary. The boundary is formed by a fence with limited planting along it. To the north the site opens onto farmland, however is separated from the adjacent fields by a tree grouping. A small farmstead lies adjacent to the trees, closing the gap between the trees and Steers Place, which runs the remainder of the northern edge of the site. Carpenters Lane forms the short stretch of the western boundary, together with some hedge and tree planting along the road. Hadlow Park and the Village Hall are located directly beyond the eastern boundary. A tree line forms the majority of this boundary, providing a degree of enclosure, however the interface with the playground is visually open.

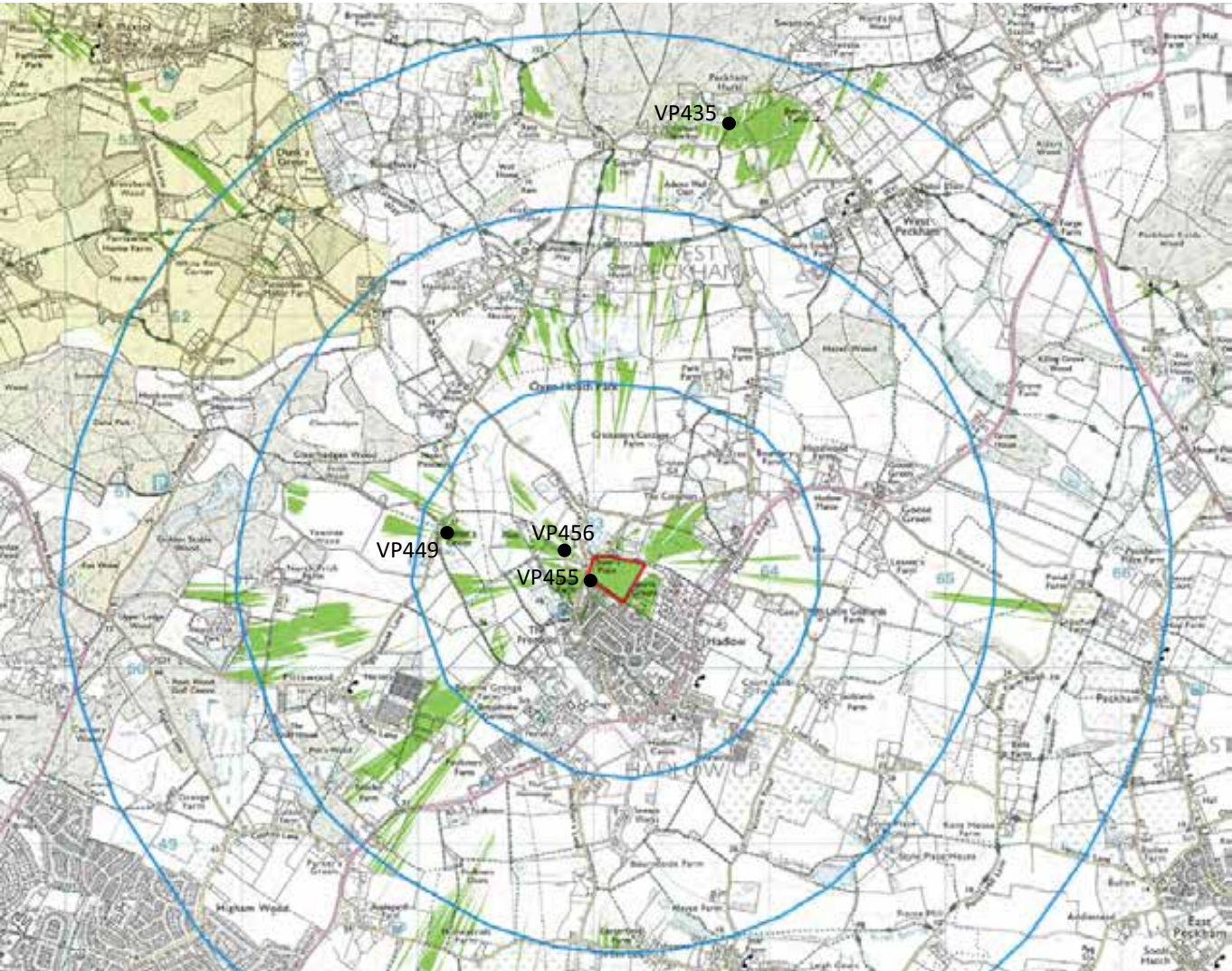


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

59776 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

59776 - Summary of Visual Effects

Proposed development type: Residential

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary to 2km to the south-west and up to 3km to the north. Site investigation and field work demonstrate that the long views from the elevated areas would offer only partial views of parts of the potential development. There are no views towards the north-east, east and south. The large scale development typology is considered inappropriate in this location and has not been assessed.

Long distance views towards the north extend up beyond West Peckham, as the topography rises towards Mereworth Woods. From Stan Lane and public footpaths running down the slope from Swanton Road in the southern direction (VP435) the site is screened by tall tree blocks. Any development typology would be difficult to see through the intervening planting during the summer months, however there could be potential for some filtered views during winter months. The potential magnitude of visual effects at these locations would be Moderate-Minor adverse for small and medium scale development typologies. Mid distance views are identified to the north, west and south-west within 1-2km from the site. These views are however heavily screened from the surrounding road network and public footpaths by tree groups, belts and boundary hedgerow planting. Views towards the site from PRoWs to the west (VP449 and VP456) are heavily screened by intervening trees and hedges, therefore any views would only be partial views of parts of potential development. The potential magnitude of visual effects at these locations would be Moderate-Minor adverse for small and medium scale development typologies. Close range views from the southern edge of the site, along The Paddock (VP455) are open and unobstructed, as the site edge is very sparsely planted with no visual obstructions. There are also unobstructed views from the southern part of

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP435 - PRoW connecting Gover Hill and Swanton Road looking south	Moderate	Recreational: High Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP449 - PRoW MT113 looking east	Moderate	Recreational: High Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP456 - PRoW MT120 looking east	Moderate	Recreational: High Susceptibility High Sensitivity	Negligible	Slight	N/A	Moderate- Minor Adverse	Moderate Adverse	N/A
VP455 - Footpath off The Paddock along the site looking north-east	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Note: * Assessments based on effects without mitigation

Hadlow Park, where the boundary hedge and tree planting does not extend to The Paddock. From Common Road and Steers Place the views are screened by the prevailing pattern of tree and hedgerow planting around the settlement. The potential magnitude of visual effects at these locations would be Major adverse for small development typology and Major+ adverse for medium scale development typology. The extent of the visual effects would be relatively constrained but there would still be a significant area of open landscape to the south with clear views. Any development would need to seek to maintain the boundary vegetation intact, but this would need significant additional strategic scale screen planting along the southern edge to reduce the overall

relatively high level of visual effects.

With the introduction of strategic planting along The Paddock and the open boundary with Hadlow Park, in the form of hedgerows and tree groupings, together with a carefully planned layout, considerate massing and placement of buildings and circulation, a small to medium scale residential development typology could be successfully integrated without undue visual harm and be seen as a natural extension to the settlement pattern.

Visual Impact Appraisal

59776 - Viewpoint Images

VP435 - PRoW connecting Gover Hill and Swanton Road looking south

Approximate site extent



VP449 - PRoW MT113 looking east

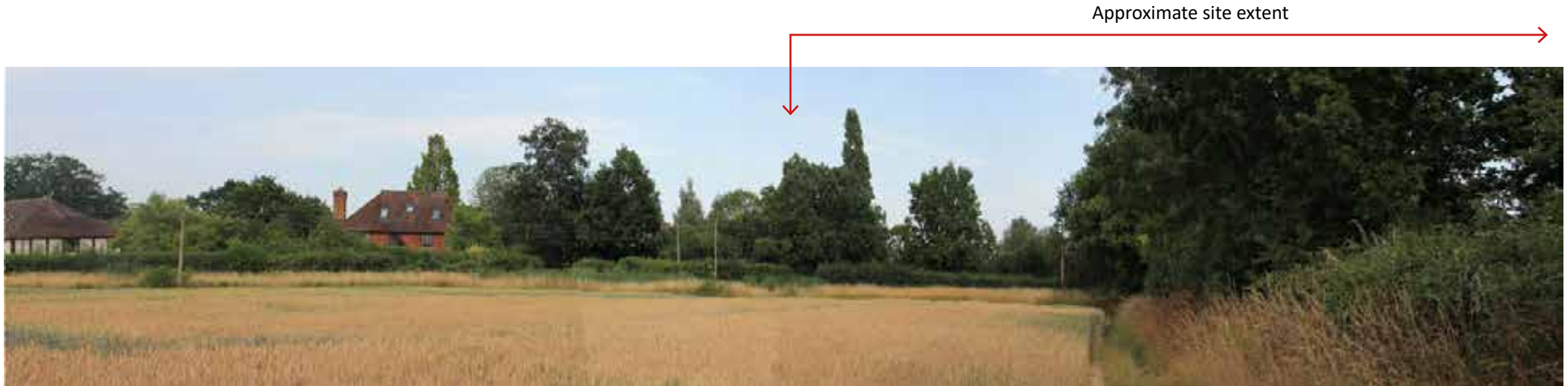
Approximate site extent



Visual Impact Appraisal

59776 - Viewpoint Images

VP456 - PRoW MT120 looking east



VP455 - Footpath off The Paddock along the site looking north-east



Landscape Impact Appraisal

Proposed development type: Residential

59776 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Suseptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
8a: Hadlow Farmlands	HAD01	No	Medium	Small: Low Medium: Medium-Low Large: High-Medium	Small: Medium-Low Medium: Medium-Low Large: High-Medium	Moderate	Substantial	N/A	Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA HAD01, assessed as having Medium-Low sensitivity to small and medium scale residential development typologies. This reflects some capacity for development without significantly affecting key landscape characteristics. The large scale development typology is considered inappropriate in this location and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising an open field enclosed by tree and hedgerow planting to its three sides. Any proposed development would alter the existing vegetation, however the loss would be limited. The main landscape changes would be the loss of the paddock, change in use of the site and loss of its openness and rural quality, and partial urbanising effects of development on countryside, although the site has a sense of urban context at its southern edge.

Development changes have been assessed to have a potential Moderate adverse landscape impact in the case of small scale residential development typology, and Major-Moderate

adverse landscape impact for medium scale development typology.

The presence of residential dwellings to the south, would justify development on the site, especially if in keeping with the existing settlement pattern. A carefully considered design approach, incorporating sensitive siting, density and layout, along with a sympathetic landscape proposal, could help integrate a small scale development typology and reduce its impact on the adverse effects on the site. Additional landscape features such as dense hedgerow and tree planting reflective of the local landscape character, particularly along the southern boundary, together with the enhancement of existing vegetation, could help integrate development and reduce its impact on the setting.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey nature of the existing settlement.

Landscape and Visual Appraisal Conclusions

The site is generally well screened from the surrounding landscape and located on the edge of the settlement, providing a suitable location for potential development.

A small scale residential development could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. The presence of existing residential dwellings to the south provides built context and development within the site could be considered a natural expansion of the settlement. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development in a way that respects and integrates with the existing landscape character and settlement pattern. Robust planting, strategies enclosing the site from the south, would help integrate development into the setting.

Medium scale residential development typology is considered unsuitable for this site. The scale and intensity of such development would be inconsistent with the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Settlement: Hadlow

Site: 59842 - Land South of Common Road

Parish: Hadlow
Ward: Bourne

The site is located on the northeastern edge of Hadlow. To the east, the site adjoins the A26 and opens out into surrounding farmland, while to the north it transitions into more open countryside that includes a mix of agricultural land and scattered woodland.

The site is made up of a number of fields sub divided by ditches running in the east-west direction. They are lined with hedgerow and irregularly spaced trees, especially the northern of the two ditches. Common Road runs along the northern boundary with a native hedgerow separating it from the northern most field. A woodland block is located in the north-eastern part of the site, with the remainder of the eastern boundary meeting back gardens of residential properties along Maidstone Road. The southern boundary is defined by a hedgerow and tree groupings from the western edge.

Proposed development type: Residential

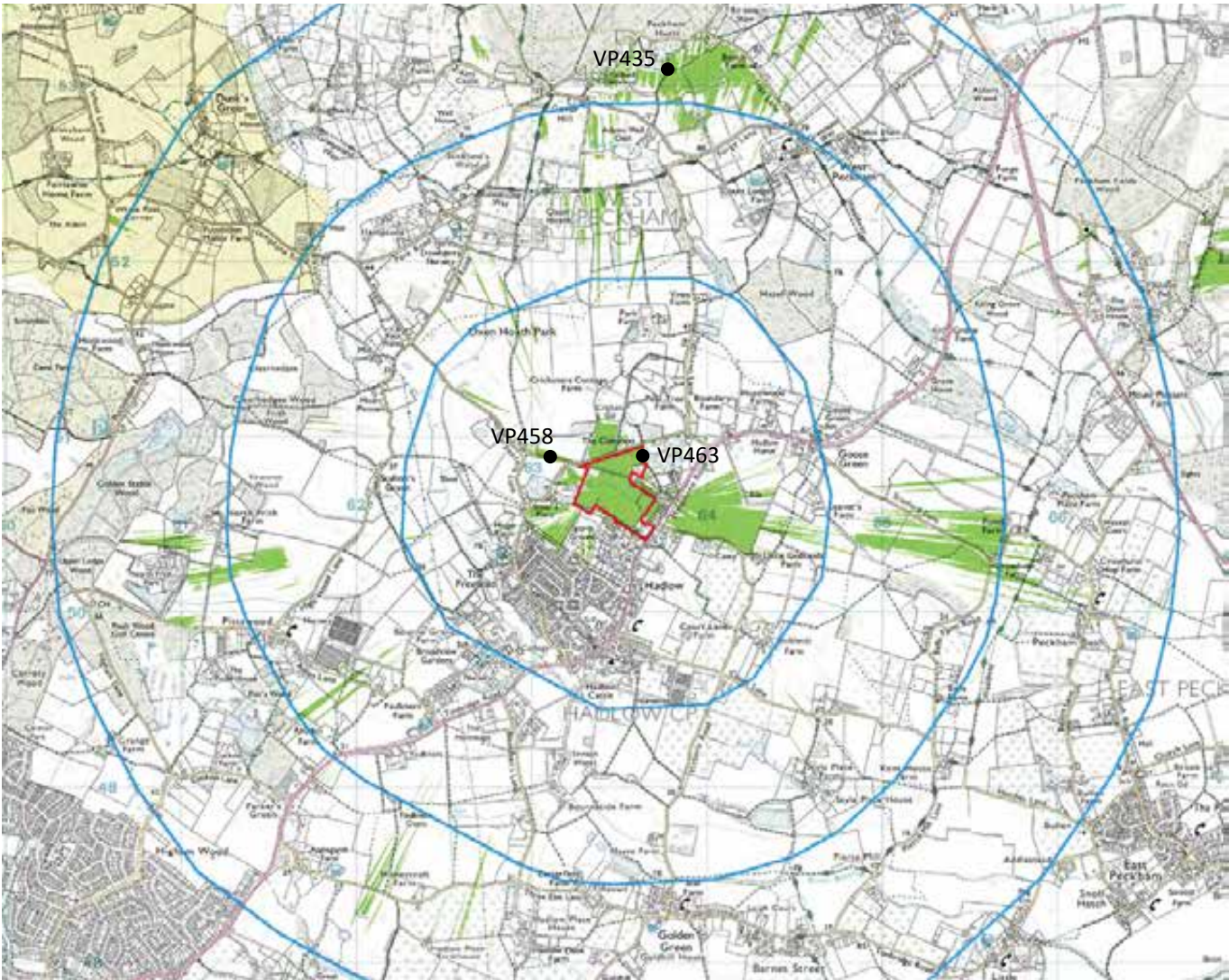


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

59842 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59842 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary to 2km to the south-east and up to 2.5km to the north. Site investigation and field work demonstrate that the long views from the elevated areas would offer only partial views of parts of the potential development. There are no views towards the north-west and south, with very limited viewshed identified to the west. The large scale development typology is considered inappropriate in this location and has not been assessed. Long distance views towards the north extend up beyond West Peckham, as the topography rises towards Mereworth Woods. From Stan Lane and public footpaths running down the slope from Swanton Road in the southern direction (VP435) the site is screened by tall tree blocks. Any development typology would be difficult to see through the intervening planting during the summer months, however there could be potential for some filtered views during winter months. The potential visual effects at these locations would be Moderate-Minor adverse for small and medium scale development typologies. Mid distance views are identified primarily to the east and south-east within 1-2km from the site. These views are however heavily screened from the surrounding road network and public footpaths by tree groups, belts and boundary hedgerow planting. Views towards the site from PRoWs to the east that runs across a field off Stanford Lane are pretty open across the fields, however because the site is located behind dwellings on Maidstone Road, these views become obstructed closer to the site and would only be partial views of parts of potential development. Views from Carpenters Lane on the approach to the site from the west are obstructed by boundary hedgerow and dense mature tree planting lining Steers Place (VP458). The road is also quite bendy which helps screen any direct views of the site. The potential visual effects

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP435 - PRoW connecting Gover Hill and Swanton Road looking south	Moderate	Recreational: High Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP458 - Common Road looking south- east	Moderate	Recreational: High Susceptibility Moderate Sensitivity	Slight	Slight	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP463 - PRoW south off Common Road looking west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59842 - Summary of Visual Effects

Proposed development type: Residential

at these locations would be Moderate-Minor adverse for small and medium scale development typologies. Close range views from the northern edge of the site, along Common Road, which from the stretch of the northern boundary are primarily screened by a dense hedgerow and trees. Views from the road become open through gaps in vegetation, however otherwise these are heavily screened. Views of potential development from the north would be of part of development only. Additionally the nature of the ditches and planting running east-west provide intervening screening in between the fields, therefore from the north only the northern most field would be partially visible, with the other two hidden behind the trees. Equally the same principle applies to views from the PRoW that runs along the

southern boundary. From here the southern most field would be partially visible through gaps in vegetation, however the central and northern fields would be more visually screened. There are some open, direct views from the northern part of a public footpath that runs south from common Road along the eastern edge (VP463). Here views are open onto the northern most field, however intervening planting screens the fields beyond. The potential visual effects at these locations would be Moderate to Major adverse for small development typology and Moderate to Major+ adverse for medium scale development typology. The extent of the visual effects would be relatively constrained but there would still be a significant area of open landscape to the south and north with clear views. Any development would

need to seek to maintain the boundary vegetation intact, but this would need significant additional strategic scale screen planting along the exposed edges to reduce the level of visual effects. With the introduction of strategic planting along the north and eastern edges, in the form of hedgerows and tree groupings, together with a carefully planned layout, considerate massing and placement of buildings and circulation, a small to medium scale residential development typology could be successfully integrated without undue visual harm and be seen as a natural extension to the settlement pattern.

Visual Impact Appraisal

59842 - Viewpoint Images

VP435 -PRoW connecting Gover Hill and Swanton Road looking south



VP458 - Common Road looking south-east



Visual Impact Appraisal

59842 - Viewpoint Images

VP463 - PRoW south off Common Road looking west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59842 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
8a: Hadlow Farmlands	HAD01	No	Medium	Small: Low Medium: Medium-Low Large: High-Medium	Small: Medium-Low Medium: Medium-Low Large: High-Medium	Moderate	Substantial	N/A	Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA HAD01, assessed as having Medium-Low sensitivity to small and medium scale residential development typologies. This reflects some capacity for development without significantly affecting key landscape characteristics. The large scale development typology is considered inappropriate in this location and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising of an open field enclosed by tree and hedgerow planting to the majority of its perimeter. In addition, drainage ditches subdivide the site creating three distinct separate fields. Any proposed development would alter the existing vegetation and alter the linear nature of the ditches. The main landscape changes would be the loss of the green pasture, change in use of the site and loss of its openness and rural quality. There would be partial urbanising effects of development on countryside, although the site abuts residential dwellings along the southern and eastern edges.

Development changes have been assessed to have potential overall Moderate adverse landscape impact in the case of small scale residential development typology, and Major-Moderate adverse landscape impact for medium scale development typology.

The presence of residential dwellings to the south and east, would justify development on the site, especially if in keeping with the existing settlement pattern. A carefully considered design approach, incorporating sensitive siting, density and layout, along with a sympathetic landscape proposal incorporating the unique landscape features, could help integrate a small scale development typology and reduce its impact on the adverse effects on the site. Additional landscape features such as dense hedgerow and tree planting reflective of the local landscape character, particularly along the southern and northern boundary, together with the enhancement of existing vegetation, could help integrate development and reduce its impact on the setting.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey nature of the existing settlement.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59842 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The site is generally well screened from the surrounding landscape and located on the edge of the settlement, providing a suitable location for potential development.

A small scale residential development could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. The presence of existing residential dwellings to the south and east provides built context and development within the site could be considered a natural expansion of the settlement. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development in a way that respects and integrates with the existing landscape character, unique features and settlement pattern. Robust planting, strategies enclosing the site from the south and north, would help integrate development into the setting.

Medium scale residential development typology is considered unsuitable for this site. The scale and intensity of such development would be inconsistent with the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Settlement: Hadlow

Proposed development type: Residential

Site: 68365 - Land rear of Cournt Lane Farmhouse and north of Court Lane

Parish: Hadlow
Ward: Bourne

The site is located on the eastern edge of Hadlow. It comprises of two regular shaped fields with light industrial use and warehouse type structures located centrally. These are enclosed by a palisade fence, which is lined by a hedge along the southern and eastern side, with some additional tree planting. It has a limited direct frontage onto Court Lane along the south, however it is separated from the road with a well established hedgerow, that provides a strong physical and visual edge. The northern boundary is formed by a tree line, which separates the site from the fields beyond, however where it adjoins a public footpath the boundary is more open and planted up by a strip of native perennials. The eastern edge is open, with only a fence defining the boundary between the site and adjacent orchard. The historic village centre and Conservation Area are located to the south of Court Lane and not directly affecting the site.

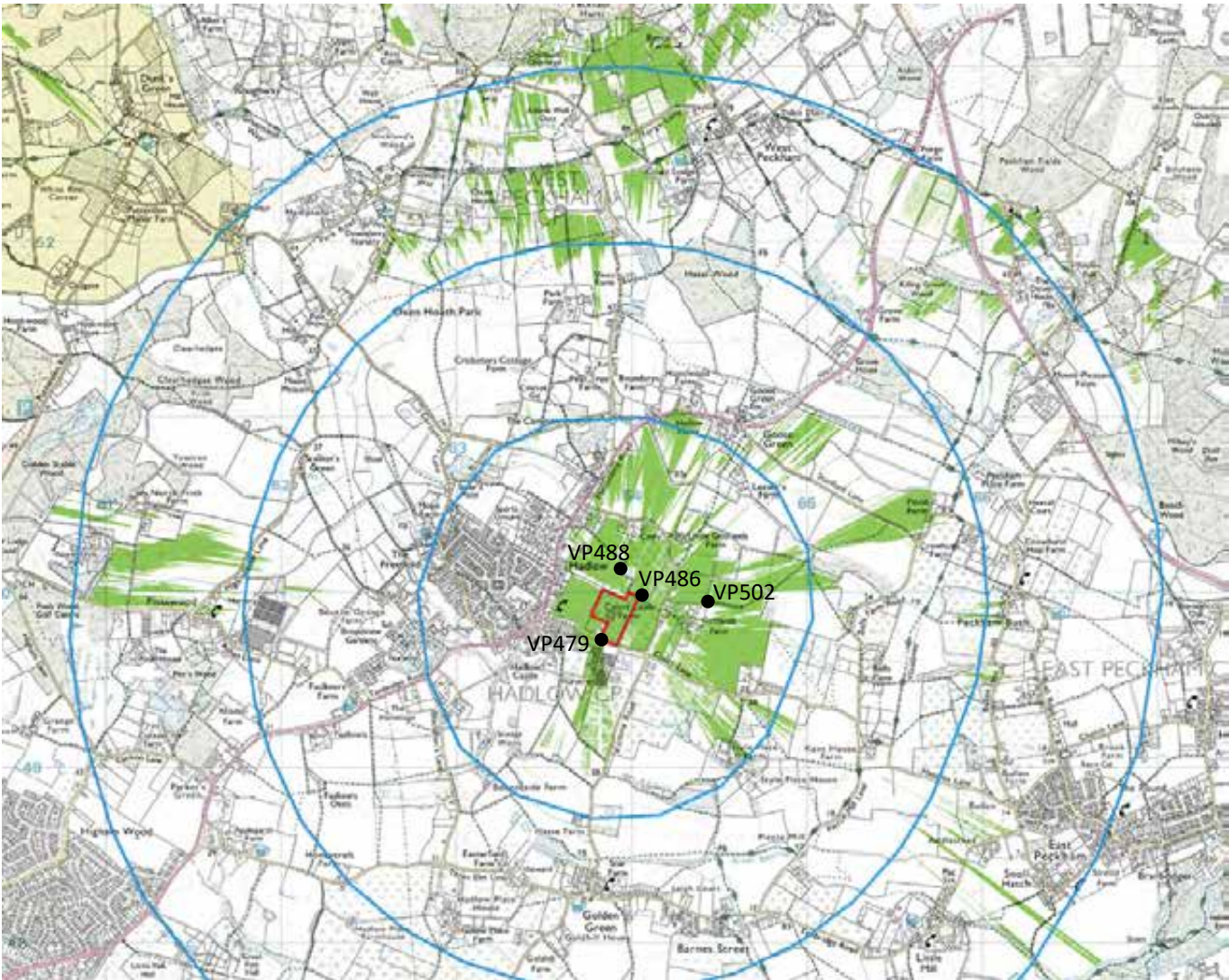


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

68365 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68365 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary to 3km to the north, up to 2km to the north-east, however the majority of the views are contained within 1km in the north to east direction. Site investigation and field work demonstrate that the long views from the elevated areas and mid distance views from closer to the site would offer only partial views of parts of the potential development due to the intervening woodland blocks and tree cover. There are no views towards the site from the immediate surroundings from between the north to south-east. The large scale development typology is considered inappropriate in this location and has not been assessed.

Long distance views towards the north extend up beyond West Peckham, as the topography rises towards Mereworth Woods. From Stan Lane and public footpaths running down the slope from Swanton Road in the southern direction the site is screened by tall tree blocks. These views are however between 2km and 3.5km away. Any development typology would be difficult to see through the intervening planting during the summer months, however there could be potential for some filtered views during winter months. These views are very distant and towards the settlement, therefore potential development would be difficult to distinguish in its setting.

Mid distance views towards the site from the public footpaths to the east (VP502) and north of the site (VP488) are heavily screened by tree groups, belts and boundary hedgerow planting in the vicinity and along the northern boundary of the site. Any views would only be partial views of parts of potential development. The top of the Hadlow Tower does appear in these views and is a prominent feature in the landscape. The overall potential visual effects at these locations would be

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP502 - PRoW adjacent to Gablands Farm looking south-west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate Adverse	Moderate Adverse	N/A
VP488 - PRoW between Cementary Lane and Maidstone Road looking south	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Slight	Moderate	N/A	Major- Moderate Adverse	Major Adverse	N/A
VP479 - Court Lane looking north-east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Adverse	N/A
VP486 - PRoW off Cementary Lane looking south-west	Moderate	Recreational: Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

68365 - Summary of Visual Effects

Major-Moderate adverse for small development typology and Major adverse for medium scale development typology. Close range views from the southern edge of the site, along Court Lane are protected by a hedgerow, which provides a successful visual barrier. Views into the site open up from the access road to the light industrial estate beyond the eastern boundary (VP479) and from then PRow running along the northern edge of the site (VP486). These views currently only provide visibility of part of the site, as the light industrial units screen the parts of the site that wraps around these. Once the buildings are removed, the whole site would become exposed. The overall visual effects from these locations would be Moderate-Moderate to Major adverse for small development typology and Major to Major+ adverse for medium scale development typology.

The extent of the visual effects would be relatively constrained but there would still be an area of open landscape to the south-west and north-east with clear views. Any development would need to seek to maintain the boundary vegetation intact, but this would need additional strategic scale screen planting along the eastern and northern edges to reduce the overall visual effects. Mitigation measures to screen views from the north and north-east, due to the proximity of the conservation area and the prominence of Hadlow Tower should be carefully considered. With the introduction of strategic planting in the form of hedgerows and tree groupings, together with a carefully planned layout, considerate massing and placement of buildings and circulation, a small scale residential development typology could be successfully integrated without undue visual harm.

Proposed development type: Residential

Medium scale residential typology is not appropriate as the adverse visual effects could not be successfully mitigated.

Visual Impact Appraisal

68365 - Viewpoint Images

VP502 - PRoW adjacent to Gablands Farm looking south-west

Approximate site extent



VP488 - PRoW between Cementary Lane and Maidstone Road looking south

Approximate site extent



VP486 - PRoW off Cementary Lane looking south-west

Approximate site extent



Visual Impact Appraisal

68365 - Viewpoint Images

VP479 - Court Lane looking north-east

Approximate site extent



Landscape Visual and Impact Appraisal

Proposed development type: Residential

68365 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a: Hadlow Farmlands	HAD02	No	Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Moderate	Substantial	N/A	Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA HAD02, assessed as having Medium-Low sensitivity to small and medium scale residential development typologies. This reflects some capacity for development without significantly affecting key landscape characteristics. The large scale development typology is considered inappropriate in this location and has not been assessed.

The site displays characteristics typical of the local landscape character typology, comprising an open fields enclosed by tree and hedgerow planting to the north, however some light industrial buildings and associated hardstanding are located centrally within the site. This area is independently fenced off by a palisade fence, which is planted up with a hedge and trees along the southern boundary. Any proposed development would alter the existing vegetation, however the loss would be limited. The main landscape changes would be the loss of the agricultural land, change in use of the site and loss of its openness and rural quality, and partial urbanising effects of development on countryside, although some development on the site

sets a precedent for the site to be redeveloped.

Development changes have been assessed to have a potential Moderate adverse landscape impact in the case of small scale residential development typology, and Major-Moderate adverse landscape impact for medium scale development typology.

A carefully considered design approach, incorporating sensitive siting, density and layout, along with a sympathetic landscape proposal, could help integrate a small scale development typology and reduce its impact on the adverse effects on the site. Additional landscape features such as dense hedgerow and tree planting reflective of the local landscape character, particularly along the southern and northern boundaries, together with the enhancement of existing vegetation, could help integrate development and reduce its impact on the setting.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey nature of the existing settlement.

Landscape and Visual Appraisal Conclusions

The site is generally well screened from the surrounding landscape and located on the edge of the settlement, providing an appealing location for potential development.

A small scale residential development could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. The presence of existing light industrial uses on the site justifies potential for redevelopment. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development in a way that respects and integrates with the existing landscape character and settlement pattern. Consideration for the setting of the conservation area needs to be given to any development proposals.

Medium scale residential development typology is considered unsuitable for this site. The scale and intensity of such development would be inconsistent with the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Settlement: Hadlow

Site: 68449 - Court Lane Nurseries, Court Lane

Parish: Hadlow
Ward: Bourne

The site is located on the south-eastern edge of Hadlow. It is a nursery site that belongs to Hadlow Collage and is used for horticulture. An existing building complex including office or operational facilities, storage buildings with associated hardstanding and an arrangement of glasshouses is located centrally on the plot. The hedge forming the northern boundary fronting onto Court Lane is lined with regular planting of tall Poplars, which are quite a distinctive feature in the landscape, seen from further afield. The eastern boundary along Victoria Road is formed by a dense and tall hedge which provides a strong physical and visual barrier. The area to the south is a regular tree plantation of nursery or orchard trees, which continues beyond the site boundary.

Proposed development type: Residential

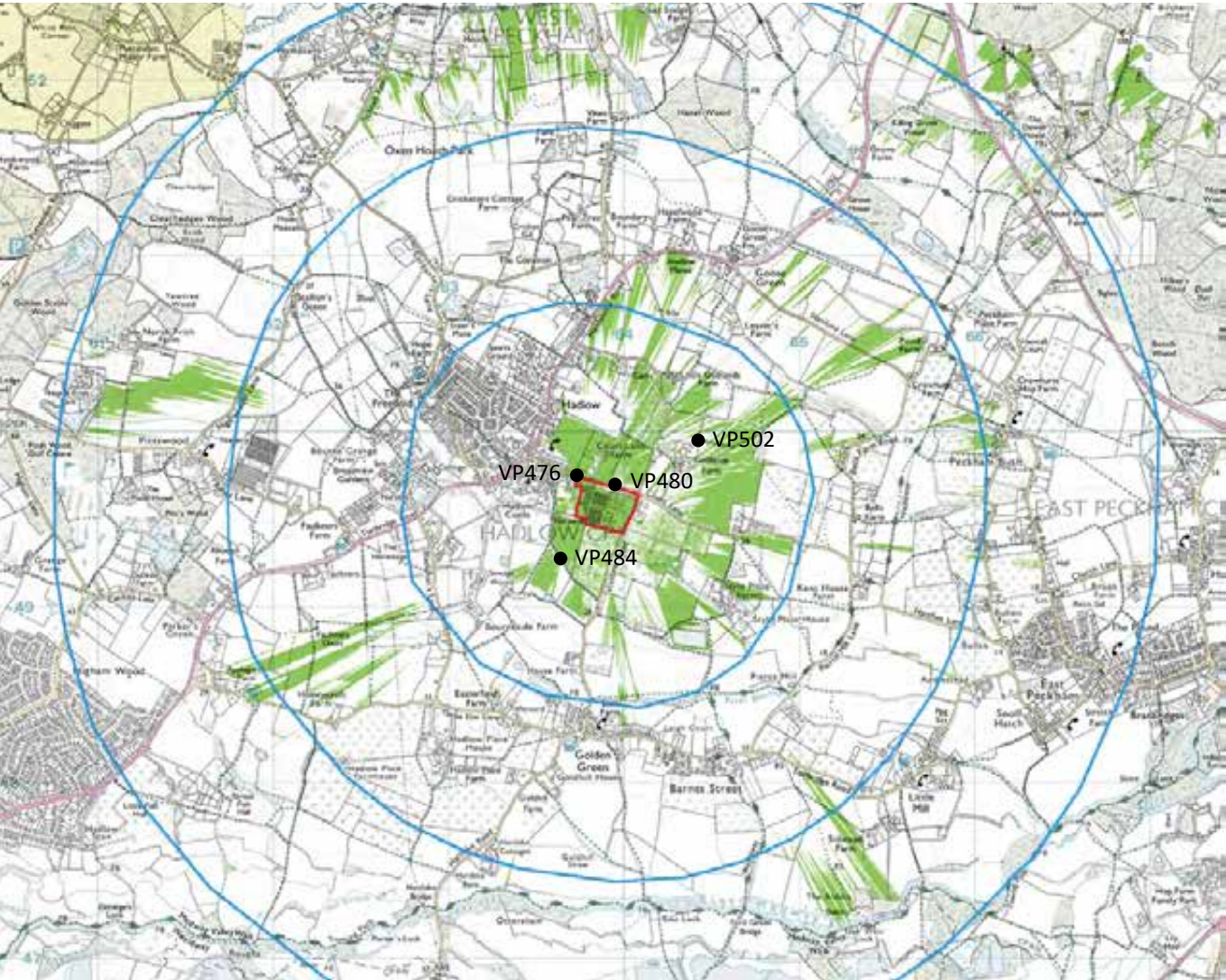


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

68449 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68449 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. The theoretical viewshed extends from the site boundary to 3km to the north, up to 2km to the north-east and some to the south-west, however the majority of the views are contained within 1km in the north-east and south-east directions. Site investigation and field work demonstrate that the long views from the elevated areas and mid distance views from closer to the site would offer only partial views of parts of the potential development due to the intervening woodland blocks and tree cover. There are no views towards the site from the immediate surroundings from all directions. The enclosed character of the site, means that the theoretical viewshed is restricted mainly to the site's immediate edges with some partial views towards the site from the north. The large scale development typology is considered inappropriate in this location and has not been assessed.

Long distance views towards the north extend up beyond West Peckham, as the topography rises towards Mereworth Woods. From Stan Lane and public footpaths running down the slope from Swanton Road in the southern direction the site is screened by tall tree blocks and the line of poplars along the northern boundary. Any development typology would be difficult to see through the intervening planting during the summer months, however there could be potential for some filtered views during winter months. These views are very distant and towards the settlement, therefore potential development would be difficult to distinguish in its setting.

Mid distance views towards the site from the public footpaths to the east (VP502) and north of the site (VP488) are heavily screened by tree groups, belts and boundary hedgerow planting in the vicinity and along the northern boundary of the site. The line of poplars along the northern boundary is distinctive feature and noticeable from the views, but also

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP502 - PRoW adjacent to Gablands Farm looking south-west	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP484 - PRoW off Victoria Road looking north	Moderate	Recreational: High/Moderate Susceptibility High Sensitivity	Negligible	Negligible	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP476 - Court Lane looking south-east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP480 - Court Lane looking south	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

68449 - Summary of Visual Effects

Proposed development type: Residential

provides effective screening of the site. Any views of would only be partial views of parts of potential development. The top of the Hadlow Tower does appear in these views and is a prominent feature in the landscape. The overall potential visual effects at these locations would be Moderate-Minor adverse for small and medium scale development typologies. Close range views from Victoria Road and Court Lane are primarily obstructed by dense hedgerow and tree planting along the roads. The remainder of the interface with Court Lane is visually protected by a hedgerow, which provides a successful visual barrier. Views into the site open up from the access road (VP480), however even here only the northern most part of the site is visible, with the rest screened by dense planting either side of the gate. The site is also partially visible on the approach on Court Lane from the village centre (VP476), where partial views are possible over the fence on the corner of the site. The overall visual effects from this location would be Moderate adverse for small development typology and Major-Moderate adverse for medium scale development typology.

The extent of the visual effects would be relatively constrained but there would still be an area of open landscape to the north with some clear views through access routes and gaps in vegetation. Any development would need to seek to maintain the boundary vegetation intact, but this would need additional strategic scale screen planting along the western edge on the interface with the adjoining site to reduce the overall visual effects. With the introduction of strategic planting in the form of hedgerows and tree groupings, together with a carefully planned layout, considerate massing and placement of buildings and circulation, a small to medium scale residential development typology could be successfully integrated without undue visual harm and be seen as a natural extension to the settlement pattern, however development proposals should adhere to the requirements posed by the setting of the conservation area.

Visual Impact Appraisal

68449 - Viewpoint Images

VP502 - PRoW adjacent to Gablands Farm looking south-west



VP484 - PRoW off Victoria Road looking north



VP480 - Court Lane looking south



Visual Impact Appraisal

68449 - Viewpoint Images

VP476 - Court Lane looking south-east

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68449 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
9a Hadlow East Peckham Low Weald Fruit Belt	HAD02	No	Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Small: Medium-Low Medium: Medium-Low Large: Medium	Moderate	Substantial	N/A	Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site lies within LSA HAD02, assessed as having Medium-Low sensitivity to small and medium scale residential development typologies. This reflects some capacity for development without significantly affecting key landscape characteristics. The large scale development typology is considered inappropriate in this location and has not been assessed.

The site comprises of existing buildings with associated hardstanding and an arrangement of glasshouses, lawn, shrubs and a part of a regimented tree plantation. The main landscape changes would be the loss of the planting area and the horticultural fields, loss of grassland and shrub planting in the north east corner. In addition the changes would also include the change in use of the site and partial urbanising effects of development on countryside, although there already is development on site.

The landscape changes have been assessed to have a potential Moderate adverse impact in the case of small scale residential development typology, and Major-Moderate adverse

landscape impact for medium scale development typology.

The presence of development on the site, would justify redevelopment, especially if in keeping with the existing settlement pattern. A carefully considered design approach, incorporating sensitive siting, density and layout, along with a sympathetic landscape proposal, could help integrate a small scale development typology and reduce its impact on the adverse effects on the site. Additional landscape features such as dense hedgerow and tree planting reflective of the local landscape character, particularly along the western boundary, together with the enhancement of existing vegetation, could help integrate development and reduce its impact on the setting.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey nature of the existing settlement.

Landscape and Visual Appraisal Conclusions

The site is generally well screened from the surrounding landscape and located on the edge of the settlement, providing an appealing location for potential development.

A small scale residential development typology could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. The presence of existing structures and infrastructure on site provides a robust justification for regeneration and development within the site could be considered a natural expansion of the settlement. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate limited development in a way that respects and integrates with the existing landscape character and settlement pattern. Consideration for the setting of the conservation area needs to be given to any development proposals.

Medium scale residential development typology is considered unsuitable for this site. The scale and intensity of such development would be inconsistent with the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

Hildenborough

Settlement: Hildenborough

Settlement overview

Hildenborough is a village lying just to the west of Hilden Park, although new development under construction is soon set to 'connect' these two previously separate settlements. Hildenborough is around 3km north-west of Tonbridge and is served by the Tonbridge Road which links to Tonbridge town centre. The village has its origins in the founding of the church, St John the Evangelist, in the mid-19th Century, and the advent of the railway with its station. Although a little way outside of the village, its presence led to the expansion of the village close to the church and by Tonbridge Road and Riding. Current day Hildenborough remains a commuter-based settlement. It largely retains its countryside setting and is bordered by some large former houses with grounds, now Sackville School and Hollenden Park Hospital and by what were GlaxoSmithKline offices, now under redevelopment, to the south-east of the village.



Site location
Base image: Google Maps (2025)

Settlement: Hildenborough

Proposed development type: Residential

Site: 59653 - Land North of Stocks Green Road, Hildenborough

Parish: Hildenborough
Ward: Hildenborough

The site comprises one large arable field and woods, set between Stocks Green Road to the south and the grounds of Sackville School at Hildenborough to the north. The grounds of Sackville School are a Registered Park and Garden. The site, which is outside of the Registered Park, has some parkland characteristics including scattered open grown oak trees and a mature circular planted copse. To the south of Stocks Green Road is countryside crossed by the Ashford-London mainline railway and the wooded embankment of the railway forms much of the site's southern boundary. At the south-eastern corner of the site, where it abuts Stocks Green Road and where the road passes under the railway, there are two detached houses with gardens to the south of the road. To the west of the site is broad woodland belt, that includes a pond. There is further countryside beyond the woodland. The eastern boundary is demarcated by a hedgerow beyond which lie various grassed fields with similar parkland planting characteristics to the site including further circular copse. West Wood lies beyond this. The landform falls noticeably from the northern boundary at Sackville School down to the southern boundary with the railway embankment and Stocks Green Road. To the south of the railway the land falls steadily towards the floodplain of the River Medway to the south. A Public Right of Way (public footpath) runs roughly north-south along the edge of West Wood to the east. This public footpath continues to the south to the railway where its route turns east along the railway towards Leigh Road. A further public footpath runs north-south to the west of the wooded belt to the west of the site.

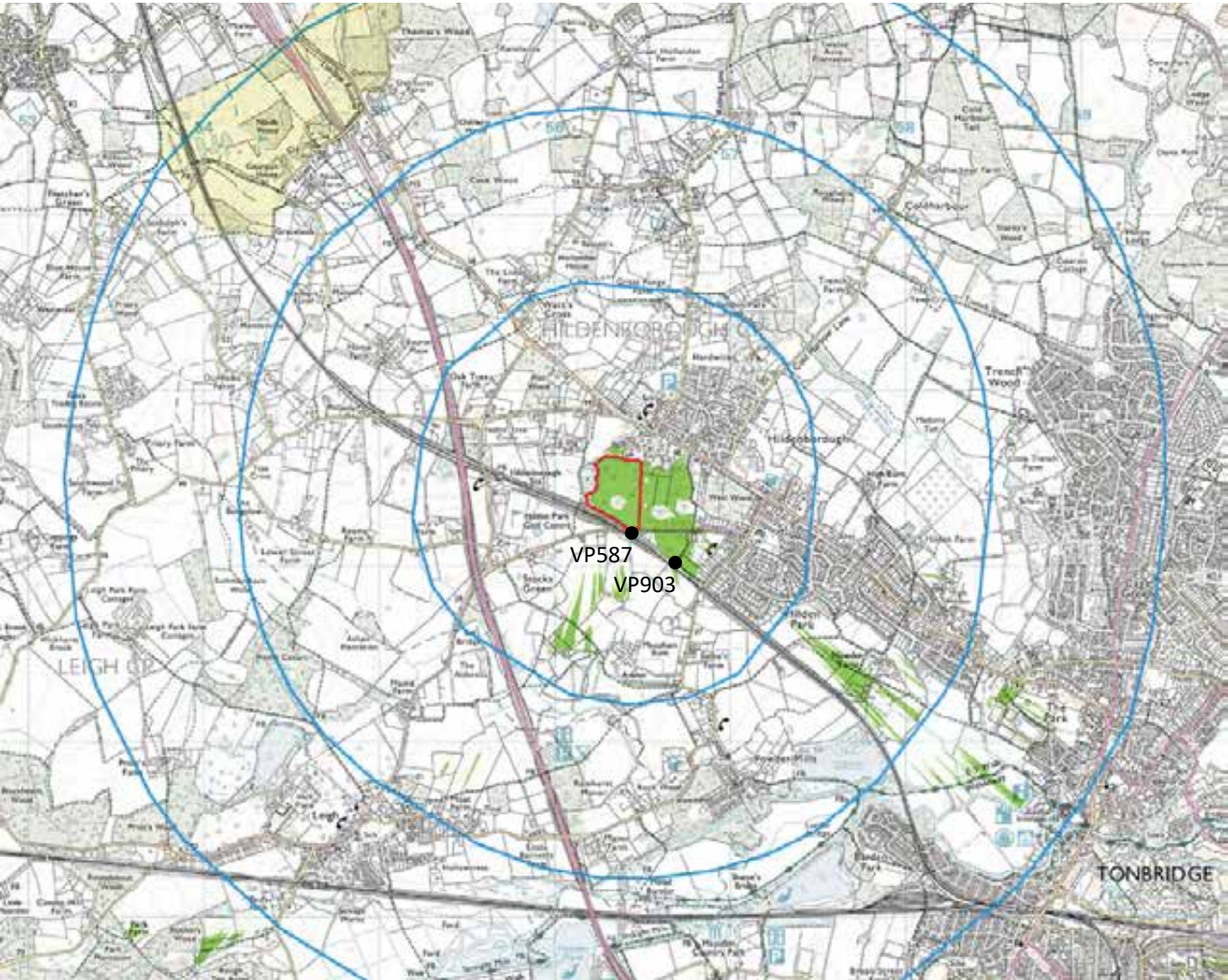


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

59653 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59653 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from within 1km of the boundary of the site to the east, and south. While the viewshed identifies some small, scattered areas around 1km to the south-east, the results of fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening development and vegetation.

From Stocks Green Lane to the south of the site there is an open view through a field gateway across the site as it rises up the slope towards Hildenborough. Potential development would be seen in close proximity to this viewpoint (VP 587). Also, it seems likely that a new residential access would be required at this point and this would significantly alter the rural character of the lane and open up views into the site. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Stocks Green Road would be of an overall Major adverse effect.

The existing hedgerow along Stocks Green Road to the east otherwise restricts largely views into the site. The public footpath along west Wood provides very limited opportunities to view the site and the public footpath to the west of the woodland along the western boundary provides no views to the site.

To the south of Stocks Green Road, a public footpath follows rising ground towards the railway. There are views from this path, over Stocks Green Road, of part of the southern area of the site (VP 903). Potential development in this area would

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP903 - PRoW south of Stocks Green Road looking north-west	Low	Recreational: High Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP587 - Stocks Green Road looking north west	Low	Recreational: Moderate Susceptibility Moderate Sensitivity	Very Substantial	Very Substantial	N/A	Major Adverse	Major Adverse	N/A

Note: * Assessments based on effects without mitigation

be noticeable in these views. The northern part of the site is largely screened by the woodland within the site. For both the small and medium scale residential development typologies, the visual effects on these receptors would generally be of an overall Moderate adverse effect.

The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The extent of the visual effects would be highly constrained but there would still be several views that would be significantly impacted at or close the boundary of the site. Any development would need to seek to minimise these visual effects through setbacks of the development and strategic buffer planting. Considerable care would be needed with the location and design of the new residential access on Stocks Green Road.

Visual Impact Appraisal

59653 - Viewpoint Images

VP903 - PRoW south of Stocks Green Road looking north-west

Approximate site extent



VP587 - Stocks Green Road looking north west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59653 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8c: West Hildenborough Farmlands	THHP03	No	Low	Small:Medium-Low Medium: Medium Large:Medium	Small:Medium-Low Medium: Medium Large:Medium	Very Substantial	Very Substantial	N/A	Major to Major-Moderate Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP03, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The site comprises one large arable field and woods, set between Stocks Green Road to the south and the grounds of Sackville School at Hildenborough to the north. The site has some parkland characteristics including scattered open grown oak trees and a mature circular planted copse. To the south of Stocks Green Road is countryside crossed by the Ashford-London mainline railway and the wooded embankment of the railway forms much of the site's southern boundary. To the west of the site is broad woodland belt, that includes a pond. There is further countryside beyond the woodland. The eastern boundary is demarcated by a hedgerow beyond which lie various grassed fields with similar parkland planting characteristics to the site including further circular copse. West Wood lies beyond this.

The landform falls noticeably from the northern boundary at Sackville School down to the southern boundary with the railway embankment and Stocks Green Road. To the south of the railway the land falls steadily towards the floodplain of the River Medway to the south.

The site is separated from the settlement boundary of Hildenborough to the north along Tonbridge Road by the grounds of Sackville School. It is countryside and rural in character, with some parkland features as set out, and has some scenic value.

The main landscape changes would be the change in the land use of the site to an urban one and, consequently, a loss of its openness. There would be the urbanising effects of the new residential access on Stocks Green Road and the potential loss of mature trees. There is also a risk to the mature trees and copse within the site and along its boundaries that would need careful design to avoid impacts and long term management. There would also be the urbanising effects of further residential development on the countryside to the east and south-east.

The landscape change would have an overall Major/Major-Moderate adverse impact in the case of the small scale residential development typology, rising to Major adverse for the medium scale residential development typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59653 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be highly constrained but there would still be several views that would be significantly impacted at or close to the boundary of the site. Any development would need to seek to minimise these visual effects through setbacks of the development and strategic buffer planting. Considerable care would be needed with the location and design of the new residential access on Stocks Green Road.

There would be a significant change to the landscape character of the site and there is limited or no potential for development on this site in landscape terms.

However, land around this site is also being promoted and assessed by this appraisal (sites 59615 and 59692 to the south of Stocks Green Road and site 68432 to the east). Should all these sites come forward for development this would substantially change the landscape context of the site. Whilst there is limited or no potential for development on this site in its own right, in tandem with these other sites there would be some potential for development of the small scale residential development typology. The consideration of the landscape and visual matters raised by this appraisal for all of these sites would be best addressed jointly in a coordinated approach.

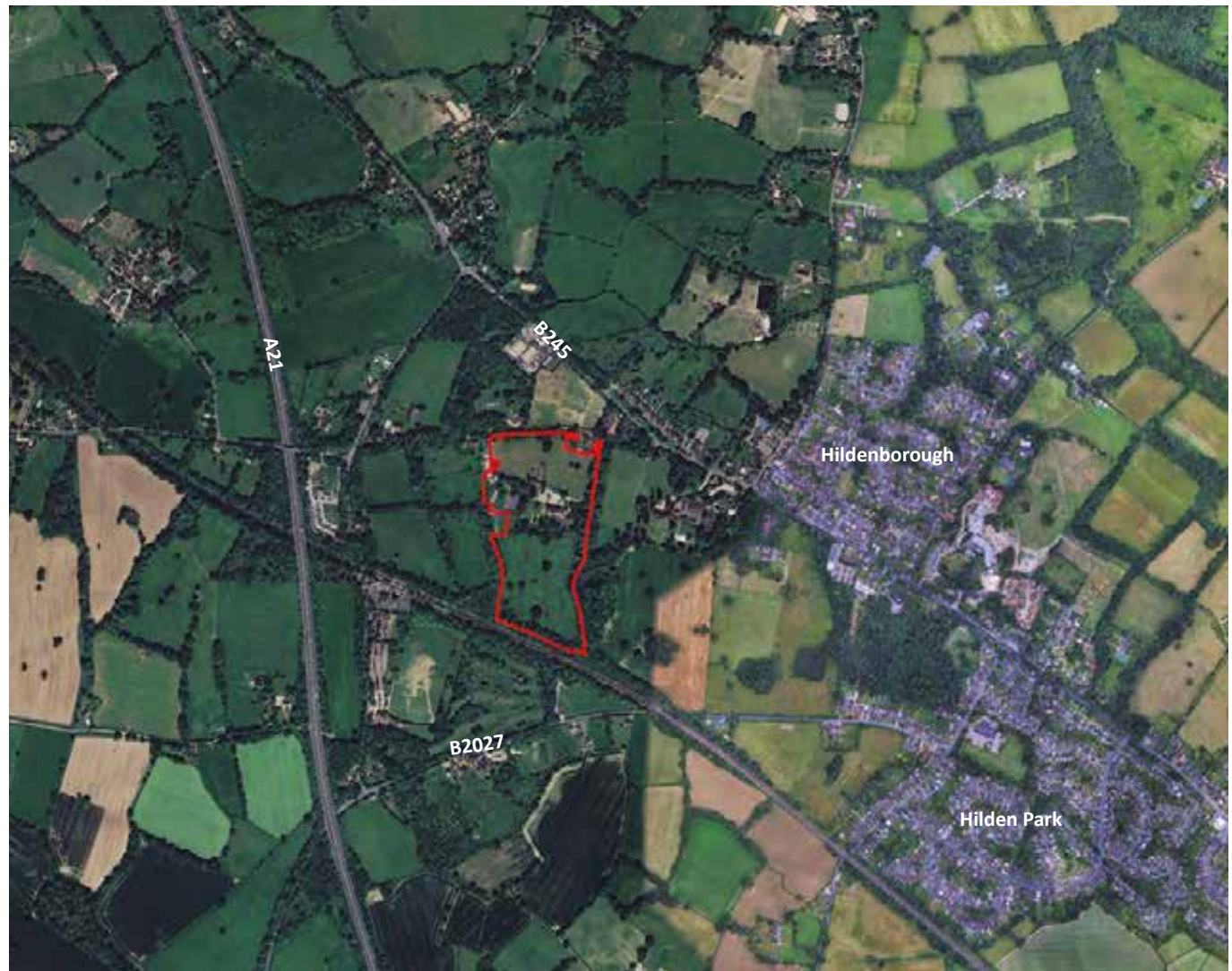
Settlement: Hildenborough

Proposed development type: Residential

Site: 59679 - Existing premises at Fosse Bank School, Noble Tree Road

Parish: Hildenborough
Ward: Hildenborough

The site comprises the grounds and buildings of Mountains Country House. The main house of Mountains is mid-19th Century Victorian Grade II Listed and used as a private primary school, Fosse Bank. The wider grounds include a walled garden and former stables but these are excluded from the site. The site includes the gardens around the main house, tennis courts and various driveways and parking hardstandings. The grounds have some parkland characteristics including lawns with scattered open grown trees to the north of the house and a loose mature planted copse just south of the house. To the south of the copse is a single grassed field with some further open grown trees. The northern boundary fronts onto Noble Tree Road where there are three existing access points. This boundary with the road is densely vegetated. For the most part both the east and west boundaries are framed by dense woodland belts along their entire lengths. The southern boundary is formed by the wooded embankment of the Ashford-London mainline railway. Whilst the northern part of the grounds between the house and Noble Tree Road is relatively level, south from the house the landform falls noticeably from the main house down to the southern boundary at the railway embankment. To the south of the railway the land falls steadily towards the floodplain of the River Medway to the south. A Public Right of Way (public footpath) runs roughly north-south through the woodland along the eastern boundary. This public footpath continues to the south of the railway via a tunnel.

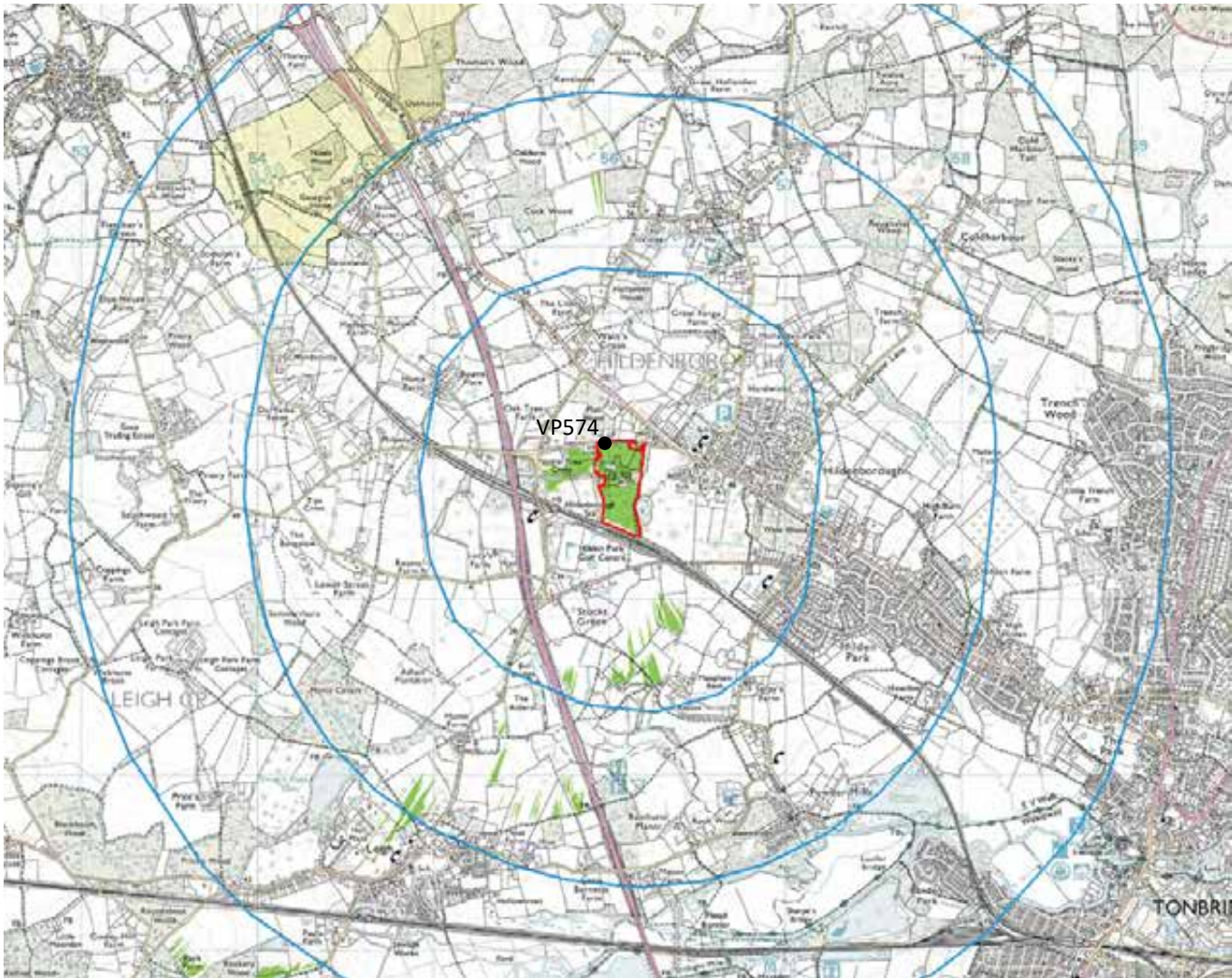


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

59679 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59679 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from within 1km of the boundary of the site. This identifies various areas in all directions with potential views of some parts of the site. The ZTV indicates that it is potential development on the northernmost part of the site that could be visible. That part of the site to the south of the house is significantly less visible. Also, while the viewshed identifies some small, scattered areas from beyond 1km to the south and north, the results of fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening development and vegetation.

Fieldwork has only identified narrow views at the existing entrances to the site along Noble Tree Road from where there are publicly accessible views into the site (VP574). There are no open views from the public footpath within the woodland to the west of the site.

To the south of Stocks Green Road, a public footpath follows rising ground towards the railway. There are views from this path, over Stocks Green Road, of part of the central area of the site (VP903). Potential development in this area would be noticeable in these views. For both the small and medium scale residential development typologies, the visual effects on these receptors would generally be of an overall Moderate adverse effect.

It is likely that a potential development would require a new and relatively large residential access to be provided on Noble Tree Road to service any significant quantum of development; the existing accesses are unlikely to be of a suitable standard.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP903 - PRoW south of Stocks Green Road looking north-west	Low	Recreational: High Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP574 - Noble Tree Road looking south east	Low	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

The visual effects of a new access on Noble Tree Road would significantly alter the rural character of the road and open up views into the site. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Stocks Green Road would be of an overall Major-Moderate adverse effect.

The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The extent of the visual effects would be constrained but there would still be several views that would be significantly impacted at or close to the boundary of the site. Care would be needed with the location and design of the new residential access on Noble Tree Road.

Visual Impact Appraisal

59679 - Viewpoint Images

VP903 - PRoW south of Stocks Green Road looking north-west



VP574 - Noble Tree Road looking south east



Landscape Impact Appraisal

Proposed development type: Residential

59679 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8c: West Hildenborough Farmlands	THHP03	No	Low	Small: Medium-Low Medium: Medium Large: Medium	Small: Medium-Low Medium: Medium Large: Medium	Very Substantial	Very Substantial	N/A	Major-Moderate to Major Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP03, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The site comprises the grounds and buildings of Mountains Country House, which is mid-19th Century Victorian Grade II Listed. The site includes the gardens around the main house, tennis courts and various driveways and parking hardstanding. The wider grounds have some parkland characteristics including lawns with scattered open grown trees to the north of the house and a loose mature planted copse just south of the house. To the south of the copse is a single grassed field with some further open grown trees. The northern boundary fronts onto Noble Tree Road where the boundary is densely vegetated. Both the east and west boundaries are framed by dense woodland belts. The southern boundary is formed by the wooded embankment of the Ashford-London mainline railway. Whilst the northern part of the grounds is relatively level, south from the house the landform falls noticeably from the main house down to the southern boundary at the railway embankment.

The site is separated from the settlement boundary of Hildenborough to the north along Tonbridge Road. It is countryside and rural in character, with some parkland features as set out, and has some scenic value.

The main landscape changes would be the change in the land use of the site to an urban one and, consequently, a loss of its openness. There would be the urbanising effects of the new residential access on Noble Tree Road and the potential loss of mature trees. There is also a risk to the mature trees and copse within the site and along its boundaries that would need careful design to avoid impacts and long term management. There would also be the urbanising effects of further residential development on the countryside to the east and west. The landscape change would have an overall Major/Major-Moderate adverse impact in the case of the small scale residential development typology, rising to Major adverse for the medium scale residential development typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59679 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be constrained but there would still be several views that would be significantly impacted at or close to the boundary of the site. Care would be needed with the location and design of the new residential access on Noble Tree Road.

There would be a significant change to the landscape character of the site and there is limited or no potential for development on this site in landscape terms.

However, land around this site is also being promoted and assessed by this appraisal (site 68459 to the west, sites 59653 and 68432 to the east and site 68413 to the south of the railway). Should all these sites come forward for development this would substantially change the landscape context of the site. Whilst there is limited or no potential for development on this site in its own right, in tandem with these other sites there could be some potential for development of the small scale residential development typology. The consideration of the landscape and visual matters raised by this appraisal for all of these sites would be best addressed jointly in a coordinated approach.

Settlement: Hildenborough

Site: 59896 - Land East of Riding Lane

Proposed development type: Residential

Parish: Hildenborough
Ward: Hildenborough

The site comprises a single grassed field located on the northern edge of the village and adjoining the existing residential area of Riding Park. Riding Lane and the village's recreation ground lie to the west. The eastern boundary is with the grounds of Hollanden Park Hospital. To the north lie various small grassed fields and paddocks. There is some outdoor storage on the site beside Riding Lane. The site's boundaries to the west, north and east are all well vegetated, with particularly dense woodland to the eastern side. The western boundary with Riding Lane comprises a tall hedge with some hedgerow trees. The southern boundary with Riding Park consists of some boundary vegetation, including trees in rear gardens, and some residential fences. There are no Public Rights of Way on the site.

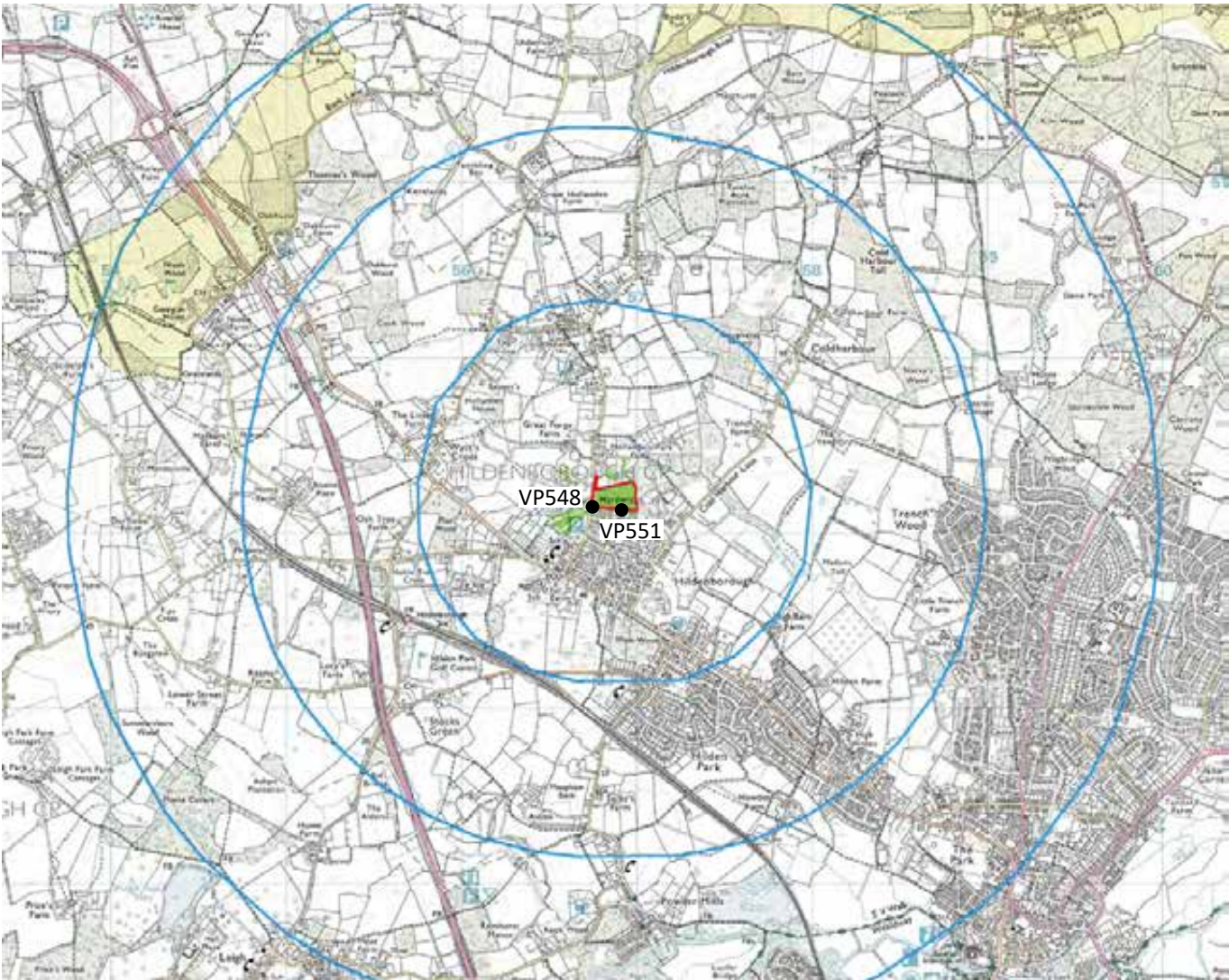


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

59896 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59896 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is almost entirely restricted to local views from within 500m of the boundary of the site to the north and west. While the viewshed identifies some small, scattered areas to the north, fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening vegetation and are not, in any case, from publicly accessible locations.

From Riding Lane at the site's western boundary, there is a partial view through an existing access into the site (VP548). Otherwise views from Riding Lane into the site are almost largely screened by the vegetated boundary. Depending on the nature of the access proposals associated with a potential development, this relatively narrow existing view would be opened up. For the small and medium scales of the residential development typologies, the visual effects on receptors adjacent to the site would generally be of an overall Major-Moderate adverse effect. There would be several partial views from publicly accessible locations within the Riding Park residential area (VP551). In these views the potential development would be likely to be in the foreground of views, depending on the layout. For the small and medium scales of the residential development typologies, the visual effects on receptors adjacent to the site would generally be of an overall Major-Moderate adverse effect. The large scale residential development typology is not considered appropriate for this site and has not been assessed.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP548 - Riding Lane looking east	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A
VP551 - Riding Park looking north west	Moderate	Recreational: High Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

The extent of the visual effects would be highly constrained but there would still be several views that would be significantly impacted close to the site to the west and south. Any development would need to seek to minimise the greatest of these visual effects through the careful design of the new access, setbacks of the development and strategic buffer planting.

Visual Impact Appraisal

59896 - Viewpoint Images

VP548 - Riding Lane looking east

Approximate site extent



VP551 - Riding Park looking north west

Approximate site extent



Landscape and Visual Impact Appraisal

Proposed development type: Residential

59896 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8b: East Hildenborough Farmlands 8d: Dene Park Western	THHP02	No	Low	Small: Medium-Low Medium: Medium Large: High-Medium	Small: Medium-Low Medium: Medium Large: High-Medium	Moderate	Moderate	N/A	Moderate to Moderate-Minor Adverse	Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP02, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered appropriate for this site and has not been assessed.

The site comprises a single grassed field located on the northern edge of the village and adjoining the existing residential area of Riding Park. Riding Lane and the village's recreation ground lie to the west. The eastern boundary is with the grounds of Hollenden Park Hospital. To the north lie various small grassed fields and paddocks. There is some outdoor storage on the site beside Riding Lane. The site's boundaries to the west, north and east are all well vegetated, with particularly dense woodland to the eastern side. The western boundary with Riding Lane comprises a tall hedge with some hedgerow trees. The southern boundary with Riding Park consists of some boundary vegetation, including trees in rear gardens, and some residential fences.

The site adjoins the settlement edge of Hildenborough at Riding Park and is partially contained to the west by the Hollenden Park Hospital, as described above, although this land use is not within the defined settlement boundary. Open countryside lies to the north of the site, whilst to the west is the Hildenborough Recreation Ground, which is also not within the settlement boundary.

The main landscape changes would be the change in the land use of the site to an urban one and, consequently, a loss of its openness. There would also be the partial urbanising effects of further residential development on the countryside to the north.

The landscape change would have an overall Moderate/Moderate-Minor adverse impact in the case of the small scale residential development typology, rising to Moderate adverse for the medium scale residential development typology.

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be highly constrained but there would still be several views that would be significantly impacted close to and potentially more distant from the site to the west. Any development would need to seek to minimise the greatest of these visual effects through the careful design of the new access, setbacks of the development and strategic buffer planting.

Whilst there would be a significant change to the landscape character of the site, there is potential in landscape character terms for development of the small and medium scale residential development typologies, without undue harm to the landscape character of the surrounds. The amenity of Hildenborough Recreation Ground to the west would need to be protected as far as possible and care taken with the design of a potential new access arrangement.

Settlement: Hildenborough

Proposed development type: Residential

Site: 68413 - Land Between Rings Hill and Stocks Green Road

Parish: Hildenborough

Ward: Hildenborough

This site is a commercial golf facility, the Hilden Park Golf Range & Gym. The site includes a fenced and lit golf driving range with covered bays, a nine-hole golf course, a clubhouse building, and an extensive car park, some parts of which provide parking for the nearby Hildenborough Station. The site fronts onto Rings Hill to the west. The clubhouse and car parking are located along this boundary. The driving range is sited in the western half of the site with the golf course to the east. The golf course has a partly wooded, partly parkland character. The southern boundary lies against woodland in the western corner and along Stocks Green Road for the remainder of this boundary. To the east is woodland and an open field beyond. To the north is the wooded embankment of the Ashford-London mainline railway. Hildenborough Station, its car park and a restaurant are located to the immediate north-west of the site. The A21 Tonbridge Bypass lies to the west of Rings Hill. There are no Public Rights of Way across the site. There is a public footpath to the immediate east of the site. This runs from the south, through a tunnel under the railway, and northwards into the woodland to the east of the grounds of Mountains Country House.



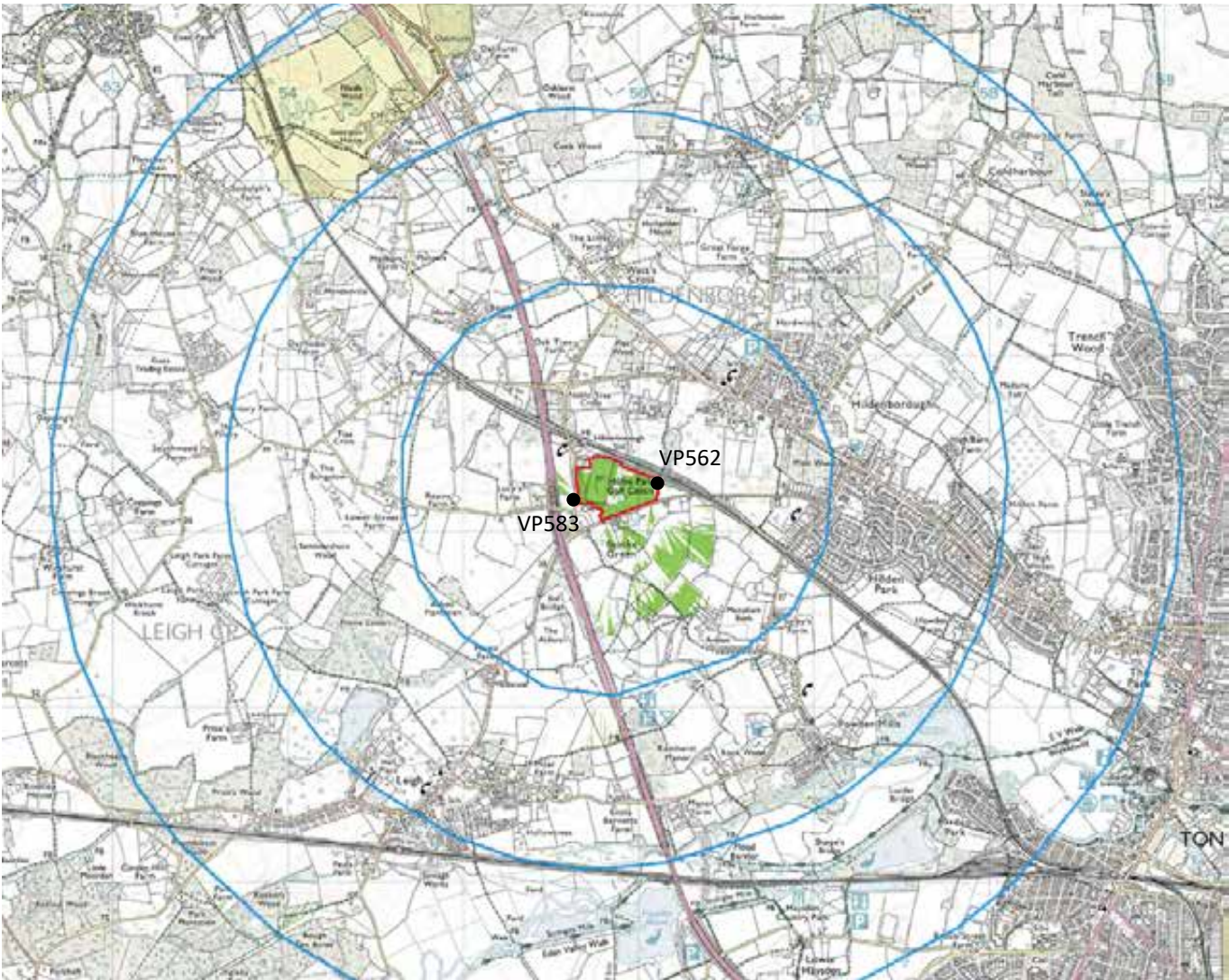
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

68413 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68413 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is restricted to local views from within 1km of the boundary of the site mainly to the south-east. While the viewshed identifies some scattered areas, the results of fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening development and vegetation.

From Rings Hill at the existing site entrance there is a relatively wide and open view of the car park, clubhouse and the driving range, with its fencing and lighting (VP583). This is likely to be the location of the access to any new residential development on the site and whilst it would probably need modification, there should not be any significant tree loss or change in character. The built form on the site and other associated features also partially mitigate the visual effects of changing the use of the site to housing. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Rings Hill would be of an overall Moderate adverse effect. The vegetation alongside the site's boundary to the south with Stocks Green Road would provide a good screen of development on the site, certainly in the summer months, for views from the road. From the public footpath to the east, the woodland within the site along this boundary would also provide a good screen (VP562).

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP583 - Hilden Park Golf Centre car park looking east	Low	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP62 - Public Right of Way adjacent to railway embankment looking west	Low	Recreational: High Susceptibility Moderate Sensitivity	Negligible	Negligible	N/A	Minor Adverse	Minor Adverse	N/A

Note: * Assessments based on effects without mitigation

There would be some glimpses through the woodland of the potential development. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Rings Hill would be of an overall Minor adverse effect. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken. The extent of the visual effects would be highly limited and there would only be one view that would be impacted at or close to the boundary of the site.

Visual Impact Appraisal

68413 - Viewpoint Images

VP583 - Hilden Park Golf Centre car park looking east

Approximate site extent



VP562 - Public Right of Way adjacent to railway embankment looking west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68413 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8c: West Hildenborough Farmlands	THHP03	No	Low	Small: Medium-Low Medium: Medium Large: Medium	Small: Medium-Low Medium: Medium Large: Medium	Substantial	Substantial	N/A	Major-Moderate to Moderate Adverse	Major-Moderate Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP03, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

This site is a commercial golf facility and includes a fenced and lit golf driving range with covered bays, a nine-hole golf course, a clubhouse building, and an extensive car park. The site fronts onto Rings Hill to the west. The clubhouse and car parking are located along this boundary. The driving range is sited in the western half of the site with the golf course to the east. The golf course has a partly wooded, partly parkland character. The southern boundary lies against woodland in the south-western corner and along Stocks Green Road for the remainder of this boundary. To the east is woodland and an open field beyond. To the north is the wooded railway embankment. Hildenborough Station, its car park and a restaurant are located to the immediate north-west of the site.

The site is separated from any settlement boundaries. However, it is contained by Rings Hill to the north, Stocks Green Road to the south, and by the mainline railway to the north. Along with the roads and railway, Hildenborough Station to the north-west has a partial urbanising effect on the site's context. The site's western part has a partially developed character, but the golf course area in the eastern part is quite well wooded and is subsumed into the countryside to a large degree. Overall, the site's context retains a countryside character and is set away from settlements.

The main landscape changes would be the change in the land use of the site to an urban one and, consequently, a loss of its partial openness. There may be the loss of vegetation within the site to form the development. The woodland along its boundaries would need setbacks to avoid impacts and long term management. There would also be the urbanising effects of further residential development on the surrounding countryside.

The landscape change would have an overall Major-Moderate/Moderate adverse impact in the case of the small scale residential development typology, rising to Major-Moderate adverse for the medium scale residential development typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

68413 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be highly limited and there would only be one view that would be impacted at or close to the boundary of the site.

The site is separated from any settlement boundaries. However, it is contained by Rings Hill to the north, Stocks Green Road to the south, and by the mainline railway to the north. Along with the roads and railway, Hildenborough Station to the north-west has a partial urbanising effect on the site's context. The site's western part has a partially developed character, but the golf course area in the eastern part is quite well wooded and is subsumed into the countryside to a large degree. Overall, the site's context retains a countryside character and is set away from settlements. Notwithstanding the partly developed character of the site's western part, there would be a significant change to the landscape character of the site, if it were all to be developed. There is some small potential for development on the western part of the site but no potential on the eastern part in landscape terms.

However, land to the immediate north of the railway and east along Stocks Green Road is also being promoted and assessed by this appraisal (sites 68459, 59679 and 59653 to the north of the railway and sites to the east, including sites 59656, 59615 and 59692). Should all these sites come forward for development this would substantially change some of the landscape context of the site, specifically that part to the north of the railway. Whilst there is limited or no potential for development on this site in its own right, in tandem with these other sites there may be some potential for development of the small scale residential development typology. The consideration of the landscape and visual matters raised by this appraisal for all of these sites would be best addressed jointly in a coordinated approach.

Settlement: Hildenborough

Proposed development type: Residential

Site: 68432 - Land Between Tonbridge Road and Stocks Green Road

Parish: Hildenborough

Ward: Hildenborough

The site comprises several fields of grassland and woods, set between Stocks Green Road to the south and Tonbridge Road at Hildenborough to the north. To the south of Stocks Green Road is countryside crossed by the Ashford-London mainline railway. At the south-western corner of the site, where Stocks Green Road passes under the railway, are two detached houses with gardens. To the west of the site is further countryside but with several detached residencies and a former telephone exchange on the northern part of the western boundary. Sackville School lies to the west of these, and its grounds are a Registered Park and Garden. The site has some parkland characteristics including scattered open grown oak trees, two mature circular planted copses. There is also a more recently planted square shaped copse. To the south-east the site adjoins part of the settlement boundary of Hilden Park at Stocks Green Road. The remainder of the eastern boundary lies against West Wood. Large offices occupy land at the northern end of the east boundary, but these are outside of the settlement boundary. The site's boundary with Stocks Green Road has a tall hedgerow along it. The western boundary with the fields beyond is open and not demarcated on the ground. The remaining boundaries are all well-wooded except for one section alongside the detached houses on the western edge. The landform falls noticeably from the northern boundary at Tonbridge Road down to the southern boundary at Stocks Green Road, before rising again to the railway line to the south. To the south of the railway the land falls steadily towards the floodplain of the River Medway to the south.

A Public Right of Way (public footpath) runs along part of



Site location

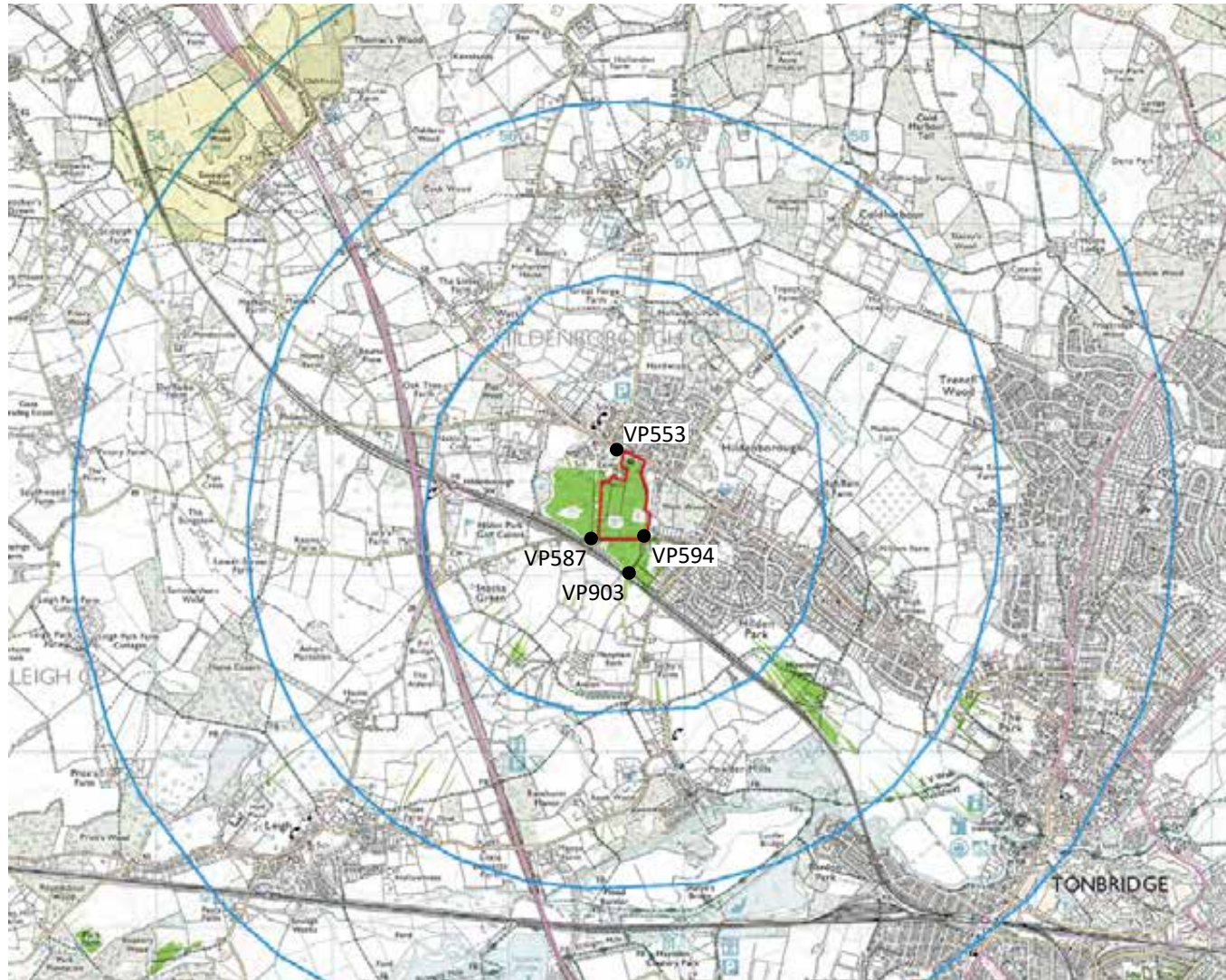
Base image: Google Maps (2025)

the eastern boundary and just beyond the boundary within West Wood. This public footpath continues to the south to the railway where its route turns east along the railway towards Leigh Road.

Visual Impact Appraisal

68432 - ZTV and Viewpoint Location Map

Proposed development type: Residential



Key

- Site boundary
- VPxx Viewpoint location and number
- ZTV
- National Landscape
- Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68432 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from within 1km of the boundary of the site to the west, and south. While the viewshed identifies some small, scattered areas around 1km to the south-east and south, the results of fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening development and vegetation.

From Stocks Green Road along the site's southern boundary there are a limited number of glimpsed views into the site through gateways into the fields in which the potential development would be seen. Where the public footpath that runs along and close to the eastern boundary meets Stocks Green Road it is likely that the potential development would be seen in the foreground on the view (VP594). For the small scale residential development typology, the visual effects on receptors adjacent to the site would generally be of an overall Major-Moderate adverse effect. This would rise to an overall Major adverse effect for the medium scale typology. From Stocks Green Road to the west of the site there is a narrow view through a field gateway towards the western side of the site and of the site as it rises up the slope towards Hildenborough. It is likely that the potential development would be seen in close proximity to this viewpoint (VP587). For the small scale residential development typology, the visual effects on receptors adjacent to the site would generally be of an overall Major-Moderate adverse effect. This would rise to an overall Major adverse effect for the medium scale typology.

The existing hedgerow along Stocks Green Road otherwise restricts views into the site. However, it seems likely that a new residential access would be required at some point along this boundary and this would alter the rural character of the lane and open up views into the site.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP903 - PRoW south of Stocks Green Road looking north-west	Low	Recreational: High Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP553 - Tonbridge Road (B245) looking south	Low	Recreational: High Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A
VP594 - PRoW north of Stocks Green Road looking north-west	Low	Recreational: High Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Moderate	N/A
VP587 - Stocks Green Road looking north-east	Low	Recreational: High Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major- Moderate Adverse	Major Moderate	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

68432 - Summary of Visual Effects

Proposed development type: Residential

Much of the public footpath along the eastern boundary is aligned through the edge of West Wood which screens much of the site. To the south of Stocks Green Road, the public footpath follows rising ground to the south. Towards the railway there are views from this path across the western part of the site, over Stocks Green Road, and up to the edge of Hildenborough (VP903). Potential development would be prominent in these views. For both the small and medium scale residential development typologies, the visual effects on these receptors would generally be of an overall Moderate adverse effect.

From Tonbridge Road the well-vegetated boundary currently screens any views into the site (VP553). However, it is possible that a new residential access would be required at some point along this boundary and this could lead to the loss of much of this vegetated boundary and open up views into the site. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Tonbridge Road would generally be of an overall Moderate

adverse effect.

The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The extent of the visual effects would be largely constrained but there would still be several views that would be significantly impacted on or at the boundary of the site. Any development would need to seek to minimise these visual effects through setbacks of the development and strategic buffer planting. Care would be needed with the location and design of the new residential access or accesses.

Visual Impact Appraisal

68432 - Viewpoint Images

VP903 - PRoW south of Stocks Green Road looking north-west



VP553 - Tonbridge Road B245 looking south

Approximate site extent



Visual Impact Appraisal

68432 - Viewpoint Images

VP594 - Public Right of Way just north of Stocks Green Road looking north west

Approximate site extent



VP587 - Stocks Green Road looking north-east

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68432 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8c: West Hildenborough Farmlands	THHP03	No	Low	Small: Medium-Low Medium: Medium Large: Medium	Small: Medium-Low Medium: Medium Large: Medium	Substantial	Very Substantial	N/A	Major-Moderate to Moderate Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP03, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The site comprises several fields of grassland and woods, set between Stocks Green Road to the south and Tonbridge Road at Hildenborough to the north. To the south of Stocks Green Road is countryside crossed by the Ashford-London mainline railway. At the south-western corner of the site, where Stocks Green Road passes under the railway, are two detached houses with gardens. To the west of the site is further countryside but with several detached residencies and a former telephone exchange on the northern part of the western boundary. To the south-east the site adjoins part of the settlement boundary of Hilden Park at Stocks Green Road. The remainder of the eastern boundary lies against West Wood. Large offices occupy land at the northern end of the east boundary, but these are outside of the settlement boundary. The landform falls noticeably from the northern boundary at Tonbridge Road down to the southern boundary at Stocks Green Road, before rising again to the railway line to the south. To the south of the railway the land falls steadily towards the floodplain of the River Medway to the south.

The site adjoins the settlement of Hildenborough along Tonbridge Road and also part of the settlement of Hilden Park to the south-east. The site also contained by Stocks Green Road to the south. The site is, however, well related to the countryside to the west and visually connected to that to the south. It is also separated from the greater part of these two settlements by West Wood and overall has a countryside character.

There would be the urbanising effects of the new residential access on Stocks Green Road and the potential loss of mature trees. There is also a risk to the mature trees and copse within the site and along its boundaries that would need careful design to avoid impacts and long term management. There would also be the urbanising effects of further residential development on the countryside to the west and south.

The landscape change would have an overall Major-Moderate/Moderate adverse impact in the case of the small scale residential development typology, rising to Major adverse for the medium scale residential development typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

68432 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be largely constrained but there would still be several views that would be significantly impacted on or at the boundary of the site. Any development would need to seek to minimise these visual effects through setbacks of the development and strategic buffer planting. Care would be needed with the location and design of the new residential access or accesses.

There would be a significant change to the landscape character of the site but there is still some limited potential, in landscape character terms, for development of the small scale residential development typology to the north against Hildenborough, accessed from Tonbridge Road, without undue harm to the landscape character of the surrounds. Development of the central and southern parts of the site would be likely to have some significant landscape and visual effects, albeit on only a few locations with views.

However, land around this site is also being promoted and assessed by this appraisal (sites 59615 and 59692 to the south of Stocks Green Road and site 59653 to the west). Should all these sites come forward for development, or just those to the south, this would substantially change the landscape context of the site. Whilst there is only limited for development on part of this site in its own right, in tandem with these other sites there would be some potential for development of the small scale residential development typology. The consideration of the landscape and visual matters raised by this appraisal for all of these sites would be best addressed jointly in a coordinated approach.

Settlement: Hildenborough

Proposed development type: Residential

Site: 68459 - Land Southeast of Junction of Noble Tree Road and Watts Cross Road

Parish: Hildenborough
Ward: Hildenborough

The site comprises five rectilinear grassed fields and various areas of woodland. Two intersecting woodland belts form four distinct open areas within the site. The northeastern area is subdivided into two fields by a hedgerow. These two fields and that to the south-east include some areas of regenerating scrub. The southern boundary is formed by the wooded embankment of the Ashford-London mainline railway and the platforms of Hildenborough Station. In the south-east corner of the site there is a larger wooded area. All of the site's other boundaries are also largely densely wooded. Only in the north-east on the boundary with the grounds of Mountains Country House is the boundary more open. The northern boundary fronts onto Noble Tree Road where there is an existing field access. Otherwise, this boundary with the road is densely vegetated. The northwestern boundary adjoins Rings Hill and is also densely vegetated. The site falls steadily down to the railway embankment. There are no Public Rights of Way across the site. The closest runs north-south through woodland to the east of the grounds of Mountains Country House.

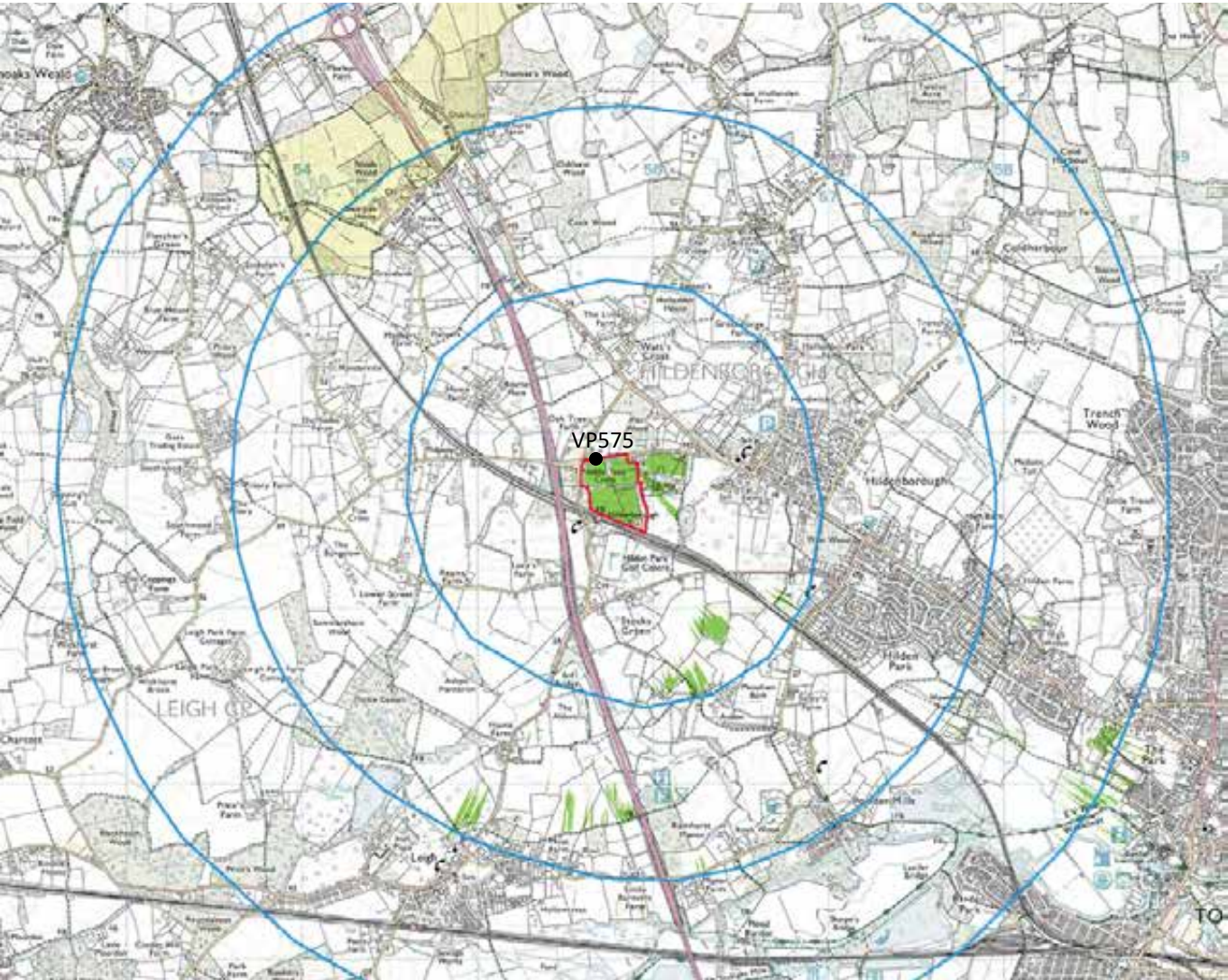


Site location
Base image: Google Maps (2025)

Visual Impact Appraisal

68459 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68459 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from within 1km of the boundary of the site to the east, south and north. This identifies various areas with potential views of some parts of the site. The ZTV indicates that it is potential development on the northernmost part of the site that could be visible. That part of the site to the south is significantly less visible. Also, while the viewshed identifies some small, scattered areas from beyond 1km to the south, south-east and north, the results of fieldwork suggest that these views would be glimpses only and likely to be heavily filtered by intervening development and vegetation. Fieldwork has only identified one narrow view at the existing entrance to the site along Noble Tree Road from where there is a publicly accessible view into the site (VP575). There are no open views from the remainder of Noble Tree Road or Rings Hill, and no open views from the public footpath within the woodland to the east of the grounds of Mountains County House. Any potential development would require a new and relatively large residential access to be provided on Noble Tree Road, or possibly Rings Hill. The visual effects of a new access on either road would significantly alter its rural character and open up views into the site. It is perhaps most likely that the existing access on Noble Tree Road would be the location and

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP575 - Noble Tree Road looking south-east	Low	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major-Moderate Adverse	Major-Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

there would be significant tree loss to form the access and sightlines. For both the small and medium scale residential development typologies, the visual effects on receptors adjacent to the site on Noble Tree Road would be of an overall Major-Moderate adverse effect. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The extent of the visual effects would be highly limited but, depending on the location chosen for the new access, there would be one view that would be significantly impacted at or close to the boundary of the site. Care would be needed with the location and design of the new residential access on Noble Tree Road.

Visual Impact Appraisal

68459 - Viewpoint Images

VP575 - Noble Tree Road looking south-east

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68459 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology *			Potential Overall Landscape Effect by Typology*		
						Small	Medium	Large	Small	Medium	Large
8c: West Hildenborough Farmlands	THHP03	No	Low	Small: Medium-Low Medium: Medium Large: Medium	Small: Medium-Low Medium: Medium Large: Medium	Very Substantial	Very Substantial	N/A	Major-Moderate to Major Adverse	Major Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA THHP03, which has Medium-Low landscape sensitivity to the small scale residential development typology and Medium landscape sensitivity to the medium scale typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

The site comprises five rectilinear grassed fields and various areas of woodland. Two intersecting woodland belts form four distinct open areas within the site. The northeastern area is subdivided into two fields by a hedgerow. These two fields and that to the south-east include some areas of regenerating scrub. The southern boundary is formed by the wooded embankment of the Ashford-London mainline railway and Hildenborough Station. In the south-east corner of the site there is a larger wooded area. All of the site's other boundaries are also largely densely wooded. Only in the north-east on the boundary with the grounds of Mountains Country House is the boundary more open. The northern boundary fronts onto Noble Tree Road where there is an existing field access. Otherwise, this boundary with the road is densely vegetated. The northwestern boundary adjoins Rings Hill and is also densely vegetated. The site falls steadily down to the railway embankment.

The site is separated from the settlement boundary of Hildenborough which lies some distance to the north along Tonbridge Road. It is contained by Noble Tree Road and Rings Hill to the north and west respectively, and by the mainline railway to the south. However, it lies in a countryside context away from settlements, is substantially enclosed by woodland and is strongly rural in character.

The main landscape changes would be the change in the land use of the site to an urban one and, consequently, a loss of its openness. There would be the urbanising effects of the new residential access on Noble Tree Road and the likely significant loss of mature trees and vegetation along this frontage. There is also likely to be tree loss within the site to access the various open areas to form the development. The wooded belts within the site and those along its boundaries would need setbacks to avoid impacts and long term management. There would also be the urbanising effects of further residential development on the surrounding countryside.

The landscape change would have an overall Major/Major-Moderate adverse impact in the case of the small scale residential development typology, rising to Major adverse for the medium scale residential development typology. The large scale residential development typology is not considered to be appropriate for this site and no assessment has been undertaken.

Landscape Impact Appraisal

Proposed development type: Residential

68459 - Summary of Landscape Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be highly limited but, depending on the location chosen for the new access, there would be one view that would be significantly impacted at or close to the boundary of the site. Care would be needed with the location and design of the new residential access on Noble Tree Road.

The site is separated from the settlement boundary of Hildenborough some distance to the north along Tonbridge Road. It is contained by Noble Tree Road and Rings Hill to the north and west respectively, and by the mainline railway to the south. However, it is substantially enclosed by woodland, lies in a countryside context away from settlements and is strongly rural in character. There would be a significant change to the landscape character of the site and there is limited or no potential for development on this site in landscape terms.

However, land around this site is also being promoted and assessed by this appraisal (site 68413 to the south of the railway and sites to the east, including sites 59679, 59653 and 68432). Should all these sites come forward for development this would substantially change the landscape context of the site. Whilst there is limited or no potential for development on this site in its own right, in tandem with these other sites there could be some potential for development of the small scale residential development typology. The consideration of the landscape and visual matters raised by this appraisal for all of these sites would be best addressed jointly in a coordinated approach.

Ightham

Settlement: Ightham

Settlement overview

Ightham is a village situated within the Kent Downs National Landscape. The settlement pattern in Ightham is largely rural and dispersed, centred around a historic core. Housing is generally low-density, consisting mainly of detached and semi-detached homes set within generous gardens or converted from historic farm buildings.

The landscape surrounding the village is defined by its gently undulating to moderately hilly topography, shaped by chalk escarpments, shallow valleys, and densely wooded ridges. The area features a blend of wooded hills, open pasture and arable farmland, interspersed with narrow streams and natural springs.

The wider parish is surrounded by fields, orchards, and ancient woodland. The combination of landscape, historical continuity, and a low-impact settlement pattern gives Ightham its rural charm.



Site location plan
Base image: Google Maps (2025)

Settlement: Ightham

Site: 59770 - Land South of Bramleys, Rectory Lane

Proposed development type: Residential

Parish: Ightham
Ward: Pilgrims with Ightham

The site is located along the southern boundary of Ightham. The A25 (Ightham By-Pass) runs along the western boundary, Rectory Lane borders the site from the north. Along the south and the east it interfaces with gardens of adjacent residential dwellings. The entire site is well screened with established native scrub and mature trees around all four boundaries. The site sits just outside the boundary of the Kent Downs National Landscape which runs along the A25 and Rectory Lane, however is considered to be in its setting.

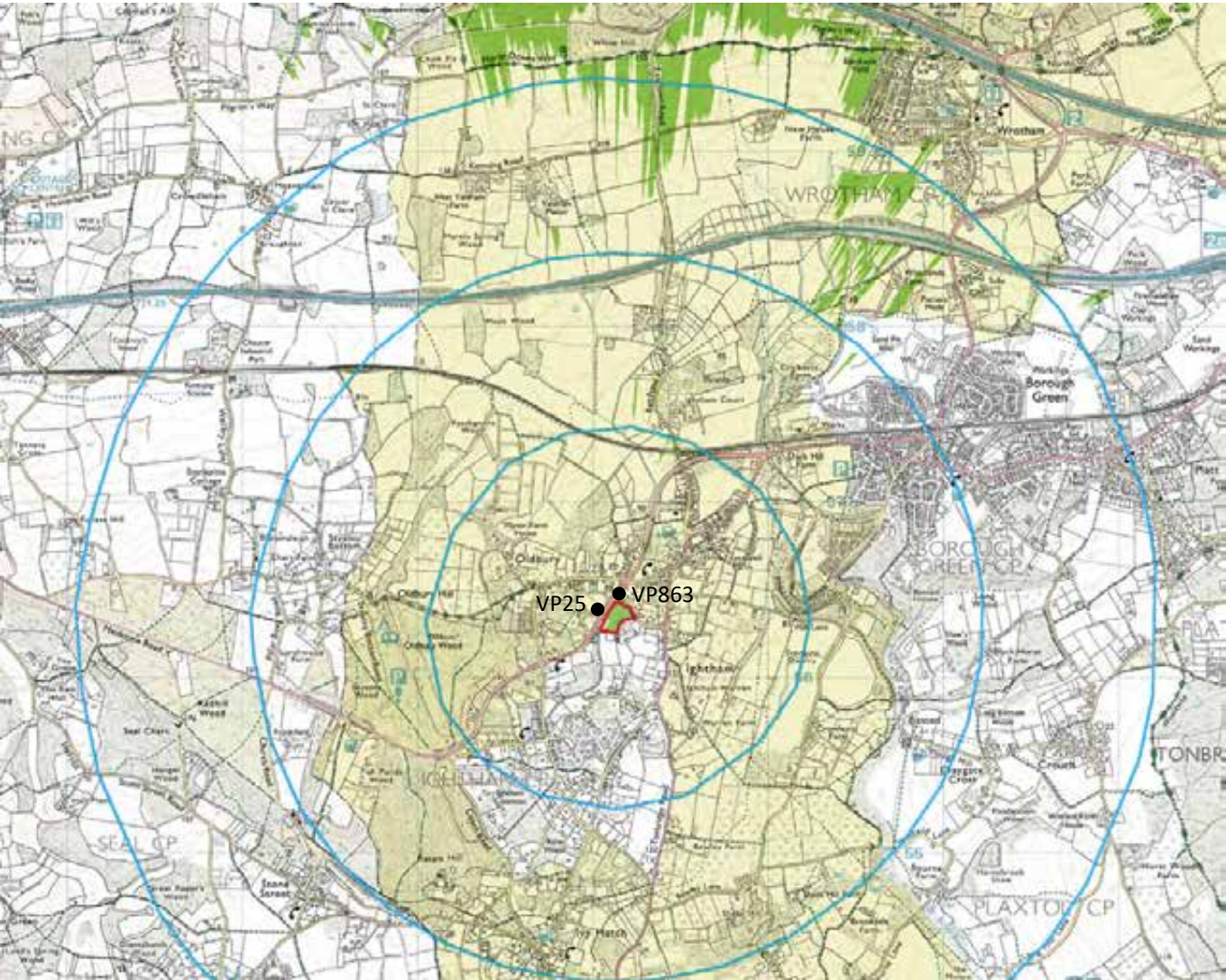


Site location plan
Base image: Google Maps (2025)

Visual Impact Appraisal

59770 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59770 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. While the theoretical viewshed extends to the north beyond 3km all the way to North Downs Way/Pilgrim's Way within the Kent Downs, site investigation and field work demonstrate that the long views from the elevated scarp of the National Landscape would offer only partial views of parts of the potential development in summer. The ZTV is based on summer conditions and, for this site, it can be expected that the extent of winter views of a potential development in views from the elevated parts of the Kent Downs to the north, albeit partial ones filtered by some vegetation, would be more extensive.

Direct views of the site are available from Ightham By-Pass (VP25). These views are partially screened by existing boundary vegetation which provides some degree of enclosure along this edge. Along Rectory Lane the views are primarily screened by a belt of trees lining the edge of the field, although some views through the gaps in planting are possible. A direct view into the site is prominent from the junction of Rectory Lane and Ightham By-Pass. This is where the entrance onto the field is located, which opens up views for anyone travelling along the A25 in the westbound direction (VP863).

The potential overall visual effects at these locations would be most affected by development, with small scale typology rated as Moderate adverse and medium scale development typology rated as Major-Moderate adverse.

Despite high sensitivity of receptors within the National Landscape and the site located in its setting, the extent of visibility of the potential development would be limited overall and mainly confined to views in the proximity of the site. The extent of the visual effects would be relatively contained but there would still be a series of views that would be significantly affected close to the site.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP25 - A25 (Ightham By-Pass) travelling eastbound	High	Recreational: High/Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP863 - Ightham By-Pass (A25) junction with Rectory Lane travelling westbound	High	Recreational: High/Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

Any development would need to seek to maintain the boundary vegetation intact, but this would need significant additional strategic scale screen planting to reduce the overall level of visual effects. Large scale development typology is deemed inappropriate in this location and has not been assessed.

Visual Impact Appraisal

59770 - Viewpoint Images

VP25 - Ightam By-Pass (A25) travelling eastbound

Approximate site extent



VP863 - Ightam By-Pass (A25) junction with Rectory Lane travelling westbound

Approximate site extent



Landscape and Visual Impact Appraisal

Proposed development type: Residential

59770 - Summary of Landscape and Visual Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
7a: Ightham Greensand Ridge	IBP01	Yes	High	Small: Medium Medium: High-Medium Large: High	Small: High-Medium Medium: High Large: High	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA IBP01, which has been assessed as having High sensitivity to both small and medium scale residential development. The large scale development typology is considered inappropriate for this location and has not been assessed.

The site is a field with hedgerow and tree planting along the boundaries, with a tree grouping in the south-west corner. The main landscape changes would be change in use and loss of its openness and rural quality, impact on the hedge and tree planting, together with an urbanising effect of development on countryside, even with introduction of a small typology of low density and two to two and a half-storey residential dwellings. In addition access to site will require substantial loss of vegetation in the north.

These changes would have a Major adverse impact in the case of small scale residential typology, and a Major+ adverse impact for medium scale typology.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey, low density nature of the existing village. Therefore medium scale residential development is not considered appropriate, given the site's high sensitivity and the high adverse effects on the landscape characteristics of the area.

Landscape and Visual Appraisal Conclusions

The site being within the setting of the National Landscape, exhibits high visual and landscape sensitivity. Although the site is barely discernible from long distance views, there are some close range views, through gaps in vegetation.

A small scale residential development typology, despite potentially in keeping with the overall vernacular of the existing architecture, would result in loss of key landscape characteristics on the site, including the sense of rurality, openness.

The scale and intensity of medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

In summary, if development was to come forward, there would likely be significant adverse landscape effects, even with mitigation, with little opportunity for a potential development to allow overall landscape enhancements to be delivered in the setting of the the National Landscape

Settlement: Ightham

Proposed development type: Residential

Site: 59871 - Land Known as Churchfields Farm and Coney Field, Fen Pond Road

Parish: Ightham
Ward: Pilgrims with Ightham

The site is a small irregular shape field located adjacent to the north-eastern end of Ightham village. It lies within the Kent Downs National Landscape. A25 (Ightham By-Pass) curves around the western boundary which is screened with an established tree line restricting views into the site. The eastern boundary adjoins the rear gardens of residential properties along Fen Pond Road with a small cul-de-sac to the south-east corner. Access to the site is from the south, off Fen Pond Road which continues along the southern boundary. A dense woodland strip along the entire southern boundary gives a sense of enclosure and screens views from the grounds of St Peter's Church to the south.

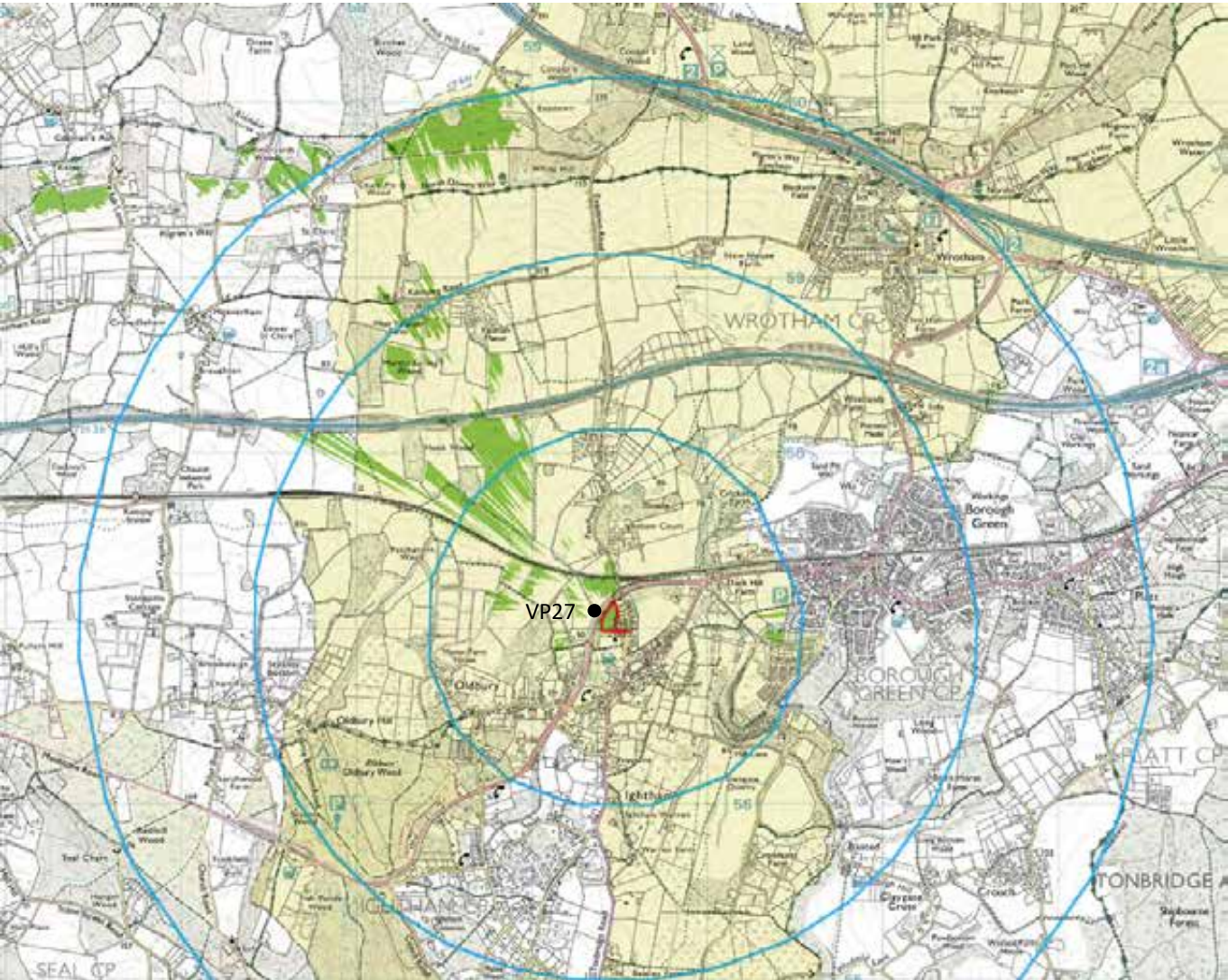


Site location plan
Base image: Google Maps (2025)

Visual Impact Appraisal

59871 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - National Landscape
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59871 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. While the theoretical viewshed extends to the north up to 3km all the way into the Kent Downs, site investigation and field work demonstrate that the long views from the elevated scarp of the National Landscape would offer only partial views of parts of the potential development in summer. The ZTV is based on summer conditions and, for this site, it can be expected that the extent of winter views of a potential development in views from the elevated parts of the Kent Downs to the north, albeit partial ones filtered by some vegetation, would be more extensive.

Long distance views from the National Landscape and Kemsing Road are for the most part obstructed by undulating topography, intervening field boundary hedgerows and woodland blocks. Views from the north would be very limited, if any.

Direct views of the site are available from Ightham By-Pass (VP27). These views are partially screened by existing boundary vegetation which provides some degree of enclosure along this edge in the summer condition. It is expected that these views would be more open during the winter months. There are no other direct views into the site from public areas, due to it being set back behind houses on Fen Pond Road. Only views from residential properties and limited views through gaps in between houses in the cul-de-sac would be affected by potential development. Views from Fen Pond Road bridge over the A25 are well screened by mature tree planting in to the north of the site (VP864).

The potential overall visual effects along the A25 would be Moderate adverse for small scale development typology and Major-Moderate adverse for medium scale development typology.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP864 - Fen Pond Road overpass looking west	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major- Moderate Adverse	N/A
VP27 - A25 (Ightham By-Pass) travelling eastbound	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Moderate	N/A	Moderate Adverse	Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

Despite high sensitivity of receptors within the National Landscape, the extent of visibility of the potential development would be limited overall and mainly confined to views in the proximity of the site. The extent of the visual effects would be relatively contained but there would still be a series of views that would be significantly affected close to the site.

Any development would need to seek to maintain the boundary vegetation intact, but this would need significant additional strategic scale screen planting to reduce the overall relatively high level of visual effects.

Visual Impact Appraisal

59871 - Viewpoint Images

VP27 - A25 (Ightam By-Pass) travelling eastbound

Approximate site extent



VP864 - Fen Pond Road overpass looking west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59871 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Suseptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
7a: Ightham Greensand Ridge	IBP01	Yes	High	Small: Medium Medium: High-Medium Large: High	Small: High-Medium Medium: High Large: High	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA IBP01, which has been assessed as having High sensitivity to both small and medium scale residential development. The large scale development typology is considered inappropriate for this location and has not been assessed.

The site it is a field with enclosed by hedge and tree planting along the southern, western boundaries and on the northern tip of the site. It borders with residential gardens to the east. The main landscape changes would be change in use and loss of its openness and rural quality, impact on the hedge and tree planting, together with an urbanising effect of development on countryside, even with introduction of a small typology of low density and two to two and a half-storey residential dwellings. The site provides an important function of retaining open, rural views at the village edge and strong link with the village's countryside setting to the west. In addition site access will require substantial loss of existing vegetation along the southern edge.

These changes would have a Major adverse impact in the case of small scale residential typology, and a Major+ adverse impact for medium scale typology.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey, low density nature of the existing village. Therefore medium scale residential development is not considered appropriate, given the site's high sensitivity and the high adverse effects on the landscape characteristics of the area.

Kent Downs Special Components Appraisal

Special components, characteristics and qualities of the Kent Downs National Landscape	Site assessment against these special characteristics
Dramatic landform and views; a distinctive landscape character ▪ Dramatic and diverse topography ▪ Breath-taking panoramic views	Ightham lies primarily in the Greensand Ridge, a varied landscape of a mosaic of woodland, irregular shape fields and settlements. Its diverse landscape includes varied terrain, from steep, wooded scarp slopes to gentler, more rolling dip slopes, supporting various habitats. There is a good portion of woodland around the built up areas, providing a dense cover when viewed from the elevated ground in the Kent Downs to the north. The site lies to the immediate west of the village, in the northern part, within a well wooded context. Long distance southerly views from the scarp are largely obstructed in the summer by dense woodland, but at the base of the scarp, where this meets the scarp slope, the landscape is more open and routes such as the Pilgrim's way and North Downs Way offer lesser but still elevated and dramatic views to the south. The rolling nature of the topography of the scarp foot provides an element of additional screening, especially at the lower levels of the scarp foot. The site is well screened from views from the upper parts of the scarp, and difficult to identify amongst the woodland planting in the area. The site makes some contribution to this special component, aspects of which could be harmed by development.
Biodiversity-rich habitats ▪ Rich and distinctive biodiversity ▪ Varied habitats ▪ Hedgerows and trees outside woodlands ▪ Wildlife in the farmed landscape is special	Ightham lies in a varied landscape, with different land uses and is surrounded by a pattern of fields and woodlands. The site is an arable field located between the A25 and the settlement. The loss of habitat through potential development would be limited to the field itself and the hedgerow and tree planting along the boundaries. The site makes some contribution to this special component, aspects of which could be harmed by development.
Farmed landscape ▪ Long standing tradition of mixed farming ▪ Concentrated areas of horticultural production	Ightham lies within the characteristic landscape of the Greensand Ridge, with a pattern of mainly arable and pasture fields amongst an extensive tree cover. The site is an arable field, contributing to the characteristic landscape pattern surrounding the settlement. Potential development would affect the farmed land use. The site makes some contribution to this special component, aspects of which could be harmed by development.
Woodland and trees ▪ Wooded landscape scarps, dry valleys and plateaux ▪ Woodland is a much-valued component ▪ Individual, hedgerow and ancient trees	The landscape around Ightham has a high woodland cover, with trees also subdividing the arable fields around the settlement. Woodland is a characteristic feature of the Greensand Ridge landscape. The site has some trees along the boundaries, which adds to the special component. The site makes some contribution to this special component, aspects of which could be harmed by development.
A rich legacy of historic and cultural heritage ▪ Outstanding cultural inheritance and strong 'time-depth' ▪ Rich historic mosaic of fields of varying shapes and sizes ▪ Architectural distinctiveness with local materials used ▪ Inspiration to artists, scientists and leaders	Ightham is a settlement that has grown around a historic core and key transport routes, notably Ightham Road, Fen Pond Road and Oldbury Lane. The Village is nestled within the contoured landscape, blending into Oldbury in the north and extending south to Ightham Common. A large part of the village is a conservation Area and the building vernacular used throughout includes decorated stone, hung tiles and clay tile roofs. The site makes minor contribution to this special component, aspects of which could be harmed by development.
Geology and natural resources ▪ Landform, special geology and considerable natural capital ▪ Carbon sequestration and biodiversity importance of soils ▪ Water and rivers teeming with wildlife, enchanting landscapes ▪ Vegetation pattern effective at removing air pollution	Ightham is located in the Greensand Ridge. A potential development would be likely to have a very limited effect on geology and only a small effect on natural resources. The site makes a minor contribution to this special component and harms to this aspect would be limited.
Tranquillity and remoteness ▪ Surprisingly tranquil and remote countryside, dark night skies	The village borders onto an area of relatively tranquil farmland and woodland with some views towards the Kent Downs to the north. The site makes contribution to the village's remaining sense of tranquillity and remoteness, and this special component. Potential development could have some nighttime effects and potential further harm to dark night skies.

Landscape Impact Appraisal

Proposed development type: Residential

59871 - Summary of Landscape Effects

Landscape and Visual Appraisal Conclusions

The site being within the National Landscape, exhibits high visual and landscape sensitivity. Although the site is barely discernible from long distance views, there are some close range views, through gaps in vegetation.

A small scale residential development typology, despite potentially in keeping with the overall vernacular of the existing architecture, would result in loss of key landscape characteristics on the site, including the sense of rurality, openness.

The scale and intensity of medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

In summary, if development was to come forward, there would likely be significant adverse landscape effects, even with mitigation, with little opportunity for a potential development to allow overall landscape enhancements to the National Landscape to be delivered.

Settlement: Ightham

Site: 68425 - Land Around Dark Hill Farm, Borough Green Road

Proposed development type: Residential

Parish: Ightham
Ward: Pilgrims with Ightham

The site is a large, triangular shaped field located to the north of Ightham village. The A25 (Ightham By-Pass) runs along the northern boundary which is densely screened with an established tree belt, restricting views into the site. Access to the site is from the north-east corner off Borough Green Road. The western boundary adjoins the rear gardens of residential properties along Fen Pond Road. The eastern boundary adjoins the rear gardens of residential properties along Borough Green Road which joins Fen Pond Road to the south. A tree line runs all the way around the rear garden boundaries joining the woodland block to the north giving the site a sense of enclosure.

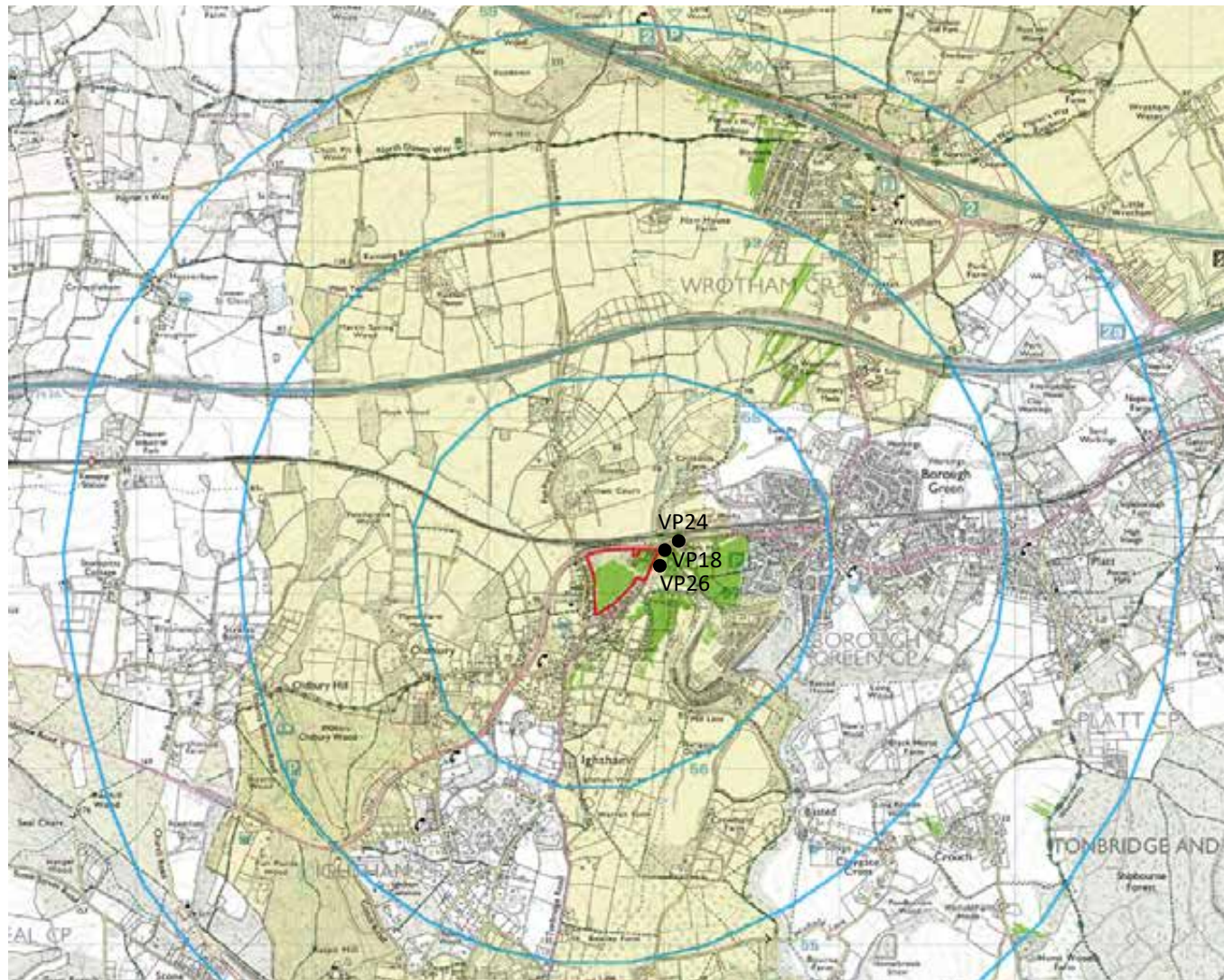


Site location plan
Base image: Google Maps (2025)

Visual Impact Appraisal

68425 - ZTV and Viewpoint Location Map

Proposed development type: Residential



Key

- Site boundary
- VPxx Viewpoint location and number
- ZTV
- National Landscape
- Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

68425 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible in the surrounding landscape. Theoretical viewshed indicates that the site is primarily visible from its immediate surroundings to the east and south, with only a minimal amount of views identified in the Kent Downs to the north. Site investigation and field work confirm that the site is not identifiable from the elevated grounds in the Kent Downs, as it is very well screened by the undulating topography, mature woodlands and intervening landscape. Mid to close range views are available from around the site. Views from Borough Green Road (VP24) are quite prominent on the downhill approach from Borough Green. With the site rising towards the south, it presents itself through the roundabout vegetation and above the site boundary planting. Views from the roundabout (VP18) are partially screened by existing boundary hedgerow, which provides some degree of enclosure along the edge of A227. An opening in the boundary planting, where the access to the site is (VP26), provides direct and unobstructed views of the site for a short stretch. The rest of the boundary along the A227 remains well screened. Views from the A25 and Fen Pond Road overpass are screened by a mature and dense tree belt along the road, with no views in. The potential overall visual effects would be Moderate to Major-Moderate adverse for small scale development typology and Major-Moderate to Major adverse for medium scale development typology. Despite high sensitivity of receptors within the National Landscape, the extent of visibility of the potential development

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP24 - Borough Green Road (A25) approaching roundabout from the east	High	Recreational: Moderate Susceptibility High Sensitivity	Moderate	Substantial	N/A	Major-Moderate Adverse	Major Adverse	N/A
VP18 - Dark Hill Road at roundabout	High	Recreational: Moderate Susceptibility Moderate Sensitivity	Moderate	Substantial	N/A	Moderate Adverse	Major - Moderate Adverse	N/A
VP26 - Borough Green Road (A227) approaching roundabout from the south	High	Recreational: Moderate Susceptibility Moderate Sensitivity	Substantial	Very Substantial	N/A	Major - Moderate Adverse	Major Adverse	N/A

Note: * Assessments based on effects without mitigation

would be limited overall and mainly confined to views in the proximity of the site. The extent of the visual effects would be relatively contained but there would still be a series of views that would be significantly affected close to the site.

Any development would need to seek to maintain the boundary vegetation intact, but this would need significant additional strategic scale screen planting to reduce the overall relatively high level of visual effects.

Visual Impact Appraisal

68425 - Viewpoint Images

VP24 - Borough Green Raod (A25) approaching roundabout from the east

Approximate site extent



VP18 - Dark Hill Raod at roundabout

Approximate site extent



Visual Impact Appraisal

68425 - Viewpoint Images

VP26 - Borough Green Raod (A227) approaching roundabout from the south

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

68425 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
7a: Ightham Greensand Ridge	IBP01	Yes	High	Small: Medium Medium: High-Medium Large: High	Small: High-Medium Medium: High Large: High	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA IBP01, which has been assessed as having High sensitivity to both small and medium scale residential development. The large scale development typology is considered inappropriate for this location and has not been assessed.

The site is open in character, with a dense tree belt along the norther boundary. It borders with residential gardens to the west and south. The main landscape changes would be change in use and loss of its openness and rural quality, impact on the hedge and tree planting, together with an urbanising effect of development on countryside, even with introduction of a small typology of low density and two to two and a half-storey residential dwellings. The site provides an important function of retaining the characteristic location of development along the main roads through the village. In addition, access to the site will impact vegetation along Borough Green Road.

These changes would have a Major-Moderate adverse impact in the case of small scale residential development, and a Major adverse impact for medium scale development.

A medium scale development typology, incorporating housing three stories or more would be out of keeping with the general two-storey, low density nature of the existing village. Therefore medium scale residential development is not considered appropriate, given the site's high sensitivity and the high adverse effects on the landscape characteristics of the area.

Kent Downs Special Components Appraisal

Special components, characteristics and qualities of the Kent Downs National Landscape	Site assessment against these special characteristics
Dramatic landform and views; a distinctive landscape character ▪ Dramatic and diverse topography ▪ Breath-taking panoramic views	Ightham lies primarily in the Greensand Ridge, a varied landscape of a mosaic of woodland, irregular shape fields and settlements. Its diverse landscape includes varied terrain, from steep, wooded scarp slopes to gentler, more rolling dip slopes, supporting various habitats. There is a good portion of woodland around the built up areas, providing a dense cover when viewed from the elevated ground in the Kent Downs to the north. The site lies to the immediate north of the village, in the northern part, with a well wooded edge to the north. Long distance southerly views from the scarp are largely obstructed in the summer by dense woodland, but at the base of the scarp, where this meets the scarp slope, the landscape is more open and routes such as the Pilgrim's way and North Downs Way offer lesser but still elevated and dramatic views to the south. The rolling nature of the topography of the scarp foot provides an element of additional screening, especially at the lower levels of the scarp foot. The site is well screened from views from the upper parts of the scarp, and difficult to identify amongst the woodland planting in the area. The site makes some contribution to this special component, aspects of which could be harmed by development.
Biodiversity-rich habitats ▪ Rich and distinctive biodiversity ▪ Varied habitats ▪ Hedgerows and trees outside woodlands ▪ Wildlife in the farmed landscape is special	Ightham lies in a varied landscape, with different land uses and is surrounded by a pattern of fields and woodlands. The site is an arable field located between the A25 and the settlement. The loss of habitat through potential development would be limited to the field itself and the hedgerow and tree planting along the boundaries. The site makes some contribution to this special component, aspects of which could be harmed by development.
Farmed landscape ▪ Long standing tradition of mixed farming ▪ Concentrated areas of horticultural production	Ightham lies within the characteristic landscape of the Greensand Ridge, with a pattern of mainly arable and pasture fields amongst an extensive tree cover. The site is an arable field, contributing to the characteristic landscape pattern surrounding the settlement. Potential development would affect the farmed land use. The site makes some contribution to this special component, aspects of which could be harmed by development.
Woodland and trees ▪ Wooded landscape scarps, dry valleys and plateaux ▪ Woodland is a much-valued component ▪ Individual, hedgerow and ancient trees	The landscape around Ightham has a high woodland cover, with trees also subdividing the arable fields around the settlement. Woodland is a characteristic feature of the Greensand Ridge landscape. The site has some trees along the boundaries and a dense block of woodland in the northern part of the site, which adds to the special component. The site makes some contribution to this special component, aspects of which could be harmed by development.
A rich legacy of historic and cultural heritage ▪ Outstanding cultural inheritance and strong 'time-depth' ▪ Rich historic mosaic of fields of varying shapes and sizes ▪ Architectural distinctiveness with local materials used ▪ Inspiration to artists, scientists and leaders	Ightham is a settlement that has grown around a historic core and key transport routes, notably Ightham Road, Fen Pond Road and Oldbury Lane. The Village is nestled within the contoured landscape, blending into Oldbury in the north and extending south to Ightham Common. A large part of the village is a conservation Area and the building vernacular used throughout includes decorated stone, hung tiles and clay tile roofs. The site makes minor contribution to this special component, aspects of which could be harmed by development.
Geology and natural resources ▪ Landform, special geology and considerable natural capital ▪ Carbon sequestration and biodiversity importance of soils ▪ Water and rivers teeming with wildlife, enchanting landscapes ▪ Vegetation pattern effective at removing air pollution	Ightham is located in the Greensand Ridge. A potential development would be likely to have a very limited effect on geology and only a small effect on natural resources. The site makes a minor contribution to this special component and harms to this aspect would be limited.
Tranquillity and remoteness ▪ Surprisingly tranquil and remote countryside, dark night skies	The village borders onto an area of relatively tranquil farmland and woodland with some views towards the Kent Downs to the north. The site makes contribution to the village's remaining sense of tranquillity and remoteness, and this special component. Potential development could have some nighttime effects and potential further harm to dark night skies.

Landscape Impact Appraisal

Proposed development type: Residential

68425 - Summary of Landscape Effects

Landscape and Visual Appraisal Conclusions

The site being within the National Landscape, exhibits high visual and landscape sensitivity. Although the site is barely discernible from long distance views, there are some close range views, through gaps in vegetation.

A small scale residential development typology, despite potentially in keeping with the overall vernacular of the existing architecture, would result in loss of key landscape characteristics on the site, including the sense of rurality, openness and would alter the typical development pattern of Ightham.

The scale and intensity of medium scale development typology would be inconsistent with both the sensitivity of the landscape and the surrounding pattern of development, leading to significant adverse effects that could not be effectively mitigated.

In summary, if development was to come forward, there would likely be significant adverse landscape effects, even with mitigation, with little opportunity for a potential development to allow overall landscape enhancements to the National Landscape to be delivered.

Kings Hill

Settlement: Kings Hill

Settlement overview

Kings Hill is a comparatively new community established in the late 1980's on the former RAF West Malling airfield. The settlement is still developing with the aim of reaching up to around 3,000 homes and some 200,000 square metres of employment uses including the offices of notable employers. There are three primary schools, a local centre with several supermarkets, a pub and some shops and restaurants. The settlement also has a sports club, golf club and cricket ground. Focused on the former airfield land, the settlement has seen the phased development of individual estates with the employment uses contained to the north-western area accessible from the A228 to the west.

Kings Hill is located on relatively flat topography at the top of the elevated Greensand ridge with the sloping scarp of the ridge to the immediate south of the settlement. To the east and west, the landscape includes large areas of woodland, whilst to the north, the topography falls gently away to the north and this landscape is generally intensively used for fruit growing interspersed with some arable farming.

The Kent Downs National Landscape lies at around 3km to the north at its closest point. Whilst there is a degree of intervisibility between some peripheral parts of Kings Hill and the North Downs, the elevated parts of the downs lie over 7km away to the north and 9km to the north-east. Kings Hill and its immediate surrounds are not considered to form part of the setting of the National Landscape.



Site location

Base image: Google Maps (2025)

Settlement: Kings Hill

Proposed development type: Residential

Site: 59603 - Land West of King Hill and Northwest of Ashton Way / Malling Road roundabout

Parish: West Malling

Ward: East Malling, West Malling & Offham

The site is located in a semi-rural area of Kent, positioned between the historic village of West Malling to the north and the modern planned community of Kings Hill to the south. It lies just west of the A228, a major arterial route that connects the surrounding settlements and provides direct access to regional transport networks. T

The site is located along King Hill Road, running north from A228 roundabout to the south-east corner. It occupies a triangular parcel of land, bordered to the south by woodland and the built-up edge of Kings Hill, and to the north-west by agricultural fields and patches of semi-natural landscape. The presence of West Malling railway station to the northeast and the active quarry operation to the west further define the site's context, placing it within a landscape that blends residential, agricultural, industrial, and transport uses.

The surrounding area reflects a diverse land-use pattern. To the north, the land opens out into predominantly agricultural terrain interspersed with pockets of woodland and scattered dwellings, typical of the Kentish countryside. To the south, Kings Hill presents a more formalised urban fabric with residential neighbourhoods, community amenities, and commercial facilities. This contrast between rural and suburban environments underscores the site's role as a transitional zone.

The site itself is level and open, with some internal vegetation and clear demarcation from surrounding via a tree belt running along the north-western boundary. A native hedge provides a strong border with King Hill Road and Quarryman's Road, with a gap for access from the south.



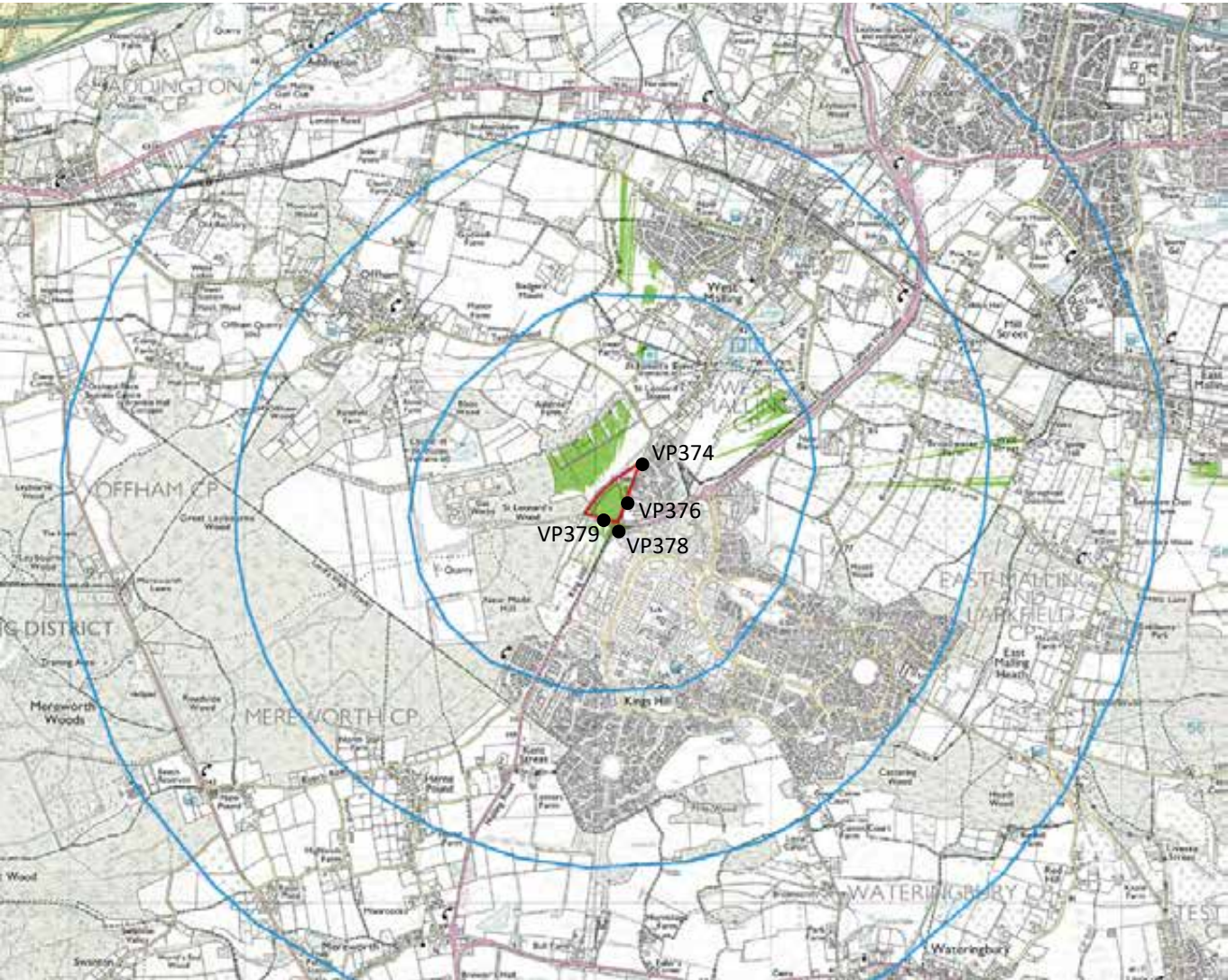
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

59603 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59603 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from the site boundary. While the viewshed identifies some small, scattered areas within 500m to the north, the results of fieldwork suggest that these views would be of the uppermost parts of the potential development only and likely to be heavily filtered.

To the north-west of the site, views will be heavily screened by the tree belt running along the boundary of the site. Mid distance views on the approach from the south-east corner, off the roundabout, the site is well screened by mature tree and hedgerow planting along the southern edge and south-east corner (VP378). From this location the development will be only partially visible through gaps and above the top of the vegetation. On the approach from the north, the site is initially screened by tree and hedge planting just beyond the northern most tip of the site, however these quickly open up as the planting gives way to a timber rail fence, which runs the majority of the edge with the road (VP374). The open edge along the eastern boundary provides unobstructed views across the pretty much the full extent of the site, with some trees and the existing buildings screening the northern most tip (VP376). From the south the site is well screened by dense tree and hedge planting and a view into the site opens up through a gap in the planting where the access to the site is located (VP379).

The actual extent of visibility of the potential development would be limited overall and mainly limited to nearby and immediately adjacent highways close to the site. The denser hedgerow to the south and wooded edge in the west means that the views into the site are restricted by this vegetation from

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP378 - King Hill/ Malling Road roundabout looking north-west	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Negligible	Slight	N/A	Minor Adverse	Moderate- Minor Adverse	N/A
VP374 - King Hill looking south-west	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Slight	Moderate	N/A	Moderate- Minor Adverse	Moderate Adverse	N/A
VP376 - King Hill looking west	Moderate	Recreational: Moderate Susceptibility High Sensitivity	Substantial	Very Substantial	N/A	Major Adverse	Major+ Adverse	N/A
VP379 - Quarryman's Road at entrance to Braise Farm Quarry looking north	Moderate	Recreational: Moderate Susceptibility Moderate Sensitivity	Slight	Moderate	N/A	Moderate- Minor Adverse	Moderate Adverse	N/A

Note: * Assessments based on effects without mitigation

these directions. For the small scale residential development typology, the overall visual effects on receptors using the public highways close or adjacent to the site would generally be of an overall Minor to Major adverse effect for the most open views. For the medium scale residential development typology, the overall visual effects would be Moderate-Minor to Major+ adverse for the most open views.

The extent of the visual effects would be relatively constrained but there would still be a series of views that would be significantly impacted close to the site. Any development would need to seek to minimise the greatest of these visual effects through setbacks of the development and strategic buffer planting along the eastern edge.

Visual Impact Appraisal

59603 - Viewpoint Images

VP378 - King Hill / Malling Road roundabout looking north-west

Approximate site extent



VP374 - King Hill looking south-west

Approximate site extent



Visual Impact Appraisal

59603 - Viewpoint Images

VP376 - King Hill looking west

Approximate site extent



VP379 - Quarryman's Road at entrance to Braise Farm Quarry looking north

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59603 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
7b: Mereworth Kingshill Woodlands	KMW10	No	Low	Small: Low Medium: low Large: Medium-Low	Small: Low Medium: low Large: Medium-Low	Substantial	Very Substantial	Very Substantial	Moderate Adverse	Major-Moderate Adverse	Major-Moderate Adverse

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA KMW10, which has Low landscape sensitivity to both small and medium scale residential development typologies and Medium-Low to large scale residential. The site is a grazing field, with existing farm buildings located towards the northern part. It is open in character, however well screened by tree planting from the south and west, making it quite an isolated pocket separated from the more open arable fields beyond the north-western edge.

The main landscape changes would be the loss of the agricultural land uses and, consequently, a loss of its openness and rural quality. There would also be the partial urbanising effects of further residential development on the countryside.

The landscape changes would have an overall Moderate adverse impact in the case of the small scale residential development typology, rising to Major-Moderate adverse for the medium scale residential development typology.

Whilst there would be a change to the landscape character of the site, there is potential in landscape character terms for development of the small and medium scale residential development typologies, to be accommodated without undue harm to the landscape character of the surrounds. The eastern boundary requires careful design of set backs and structural screen planting to mitigate the visual effects on views from King Hill road.

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be relatively constrained but there would be a significant degree of overall visual effects close to the site's boundary. The landscape is identified as having low sensitivity to small and medium scale residential development typologies.

A small and medium scale residential development could be accommodated, provided robust mitigation measures are implemented and development is in keeping with the local landscape character and prevailing building vernacular. With design carefully considering building layout, scale and density, and the introduction of locally appropriate landscape features, the site has the potential to accommodate development in a way that respects and integrates with the existing landscape character. Robust planting, strategies enclosing the site from the east, would help integrate development into the setting.

In summary, small and medium scale development typology may be appropriate subject to high quality design and effective landscape integration.

Settlement: Kings Hill

Site: 59740 - Land at Broadwater Farm and
59634 - Land at Hoath Wood, Lavenders Road

Parish: Leybourne

Ward: Birling, Leybourne & Ryarsh

These combined sites immediately adjoin the built up area to the north of Kings Hill and lie east of the A228 Ashton Way. Site 59740 forms the bulk of the combined promoted sites and would include the main body of any potential development. Site 59634 is promoted for access to site 59740 from Kings Hill. These sites lie on the Greensand ridge within the fruit belt area that is characteristic of the Greensand landscape through Kent. The combined site includes part of the flatter topography along the top of the Greensand ridge and the undulating landform of the more northward facing slopes as these fall to the Medway Valley to the north.

The western boundary of the combined site lies against a new developed residential area of Kings Hill and the northwestern edge against the A228 up to the railway in the north. The northeastern boundary follows several field boundaries and also, in part, the route of Broadwater Lane south to Pikey Lane, where the boundary extends back north up to Broadwater Farm. The eastern boundary is defined by a shelterbelt of trees and further woodland, whilst the southern boundary adjoins the developed edge of Kings Hill and an area of woodland with private residencies off Lavenders Road.

The combined site comprises of a number of regularly shaped fields, most of which are orchards, with a few larger arable fields and some grassed parcels. The fields are generally subdivided by closely cropped shelterbelts but sometimes are defined only by a change in crop, with hedgerows generally limited to the boundaries of the fields with the country lanes. Lavenders Road and Broadwater Road bisect the sites, broadly north to south. These two narrow lanes are sunken in character, bounded by robust hedges with mature hedgerow

trees. Pikey Lane is also narrow and sunken but bounded by younger planted hedges and shelterbelts, although there are several remnant mature trees.

To the immediate north-east of the sites there is scattered development along Well Street, including several former farmsteads with timber framed Listed Buildings, some of which lie within the Mill Street, East Malling Conservation Area. Straddling the site is the New Barns and Broadwater Farm Conservation Area. The former farmstead group at New Barns, including several listed buildings and a large former oast, adjoins the combined site to the west, and Broadwater Farm lies to the east.

Proposed development type: Residential



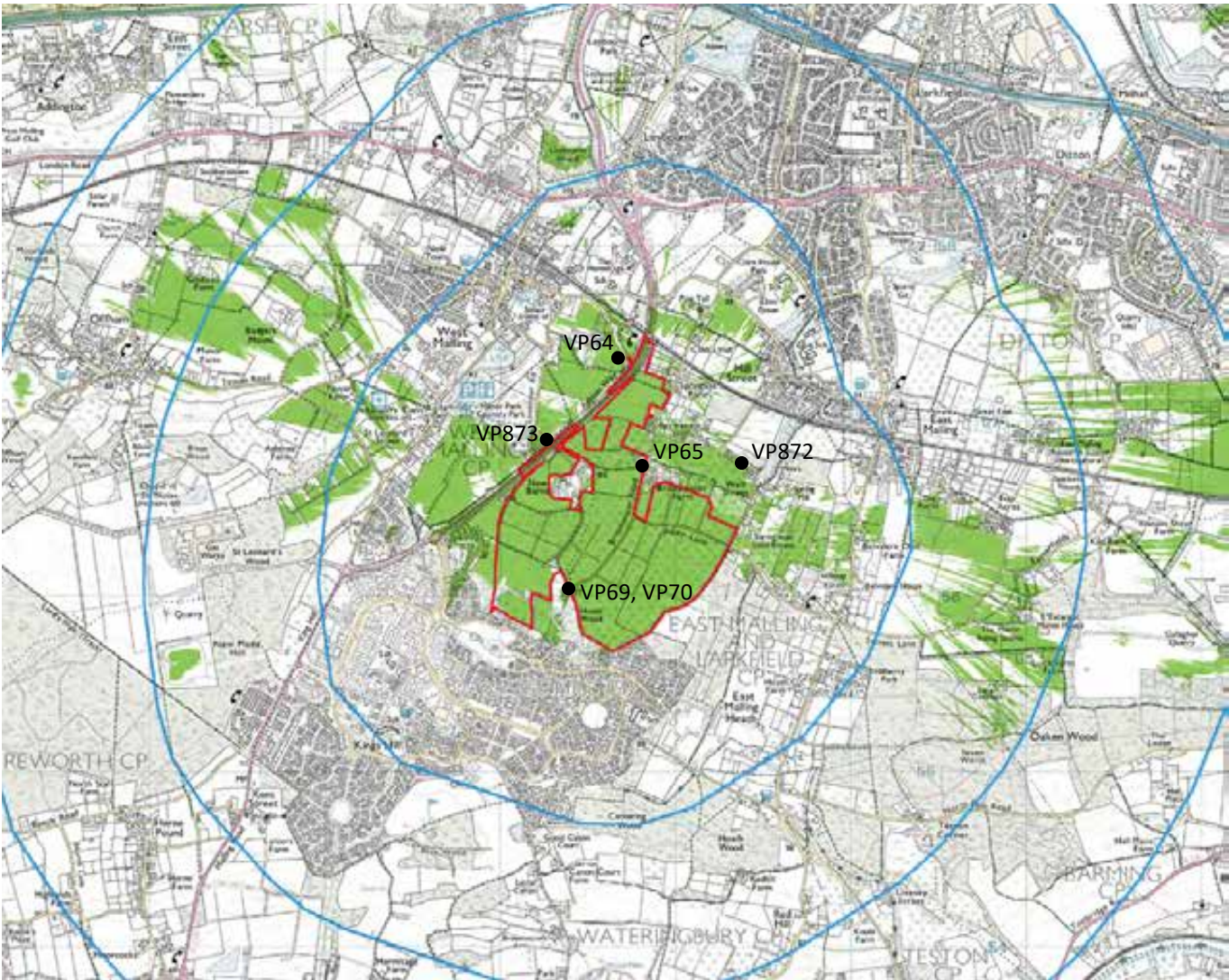
Site location

Base image: Google Maps (2025)

Visual Impact Appraisal

59740 and 59634 - ZTV and Viewpoint Location Map

Proposed development type: Residential



- Key
- Site boundary
 - VPxx Viewpoint location and number
 - ZTV
 - Distance from site in 1km increments

Zone of Theoretical Visibility and Viewpoint Location Map

Visual Impact Appraisal

Proposed development type: Residential

59740 and 59634 - Summary of Visual Effects

Visual Impact Appraisal Overall Summary

The Zone of Theoretical Visibility (ZTV) indicates the areas from which the combined site may be visible from within in the surrounding landscape. The theoretical viewshed is largely restricted to local views from within 1km of the boundary of the site to the north-west, north-east and north. While the viewshed identifies some small, scattered areas beyond 1km to the east and west, the results of fieldwork suggest that these views would be of the uppermost parts of the potential development only and likely to be heavily filtered.

To the north-west of the site, from areas between the A228 and West Malling, the views towards the site are partially screened by locally occurring vegetation and the boundary screening vegetation alongside the A228. There is a more open view from the Lavender Road overbridge of the A228. Views from the north-east include southerly ones from the slightly elevated part of Well Street close to the edge of the Mill Street, East Malling Conservation Area. Views from the east are substantially filtered and largely fully screened by the multiple layers of shelterbelt and hedgerow vegetation between the site and Watlington Road. The combined sites include parts of three highways (Lavender Road, Broadwater Road and Pikey Lane). The sunken and well vegetated nature of these mean that views across adjacent parts of the combined site are very largely screened. The Public Rights of Way also cross the sites. These tend to cross open parts of the landscape and offer a range of views, including a Bridleway that links the two parts of the New Barns and Broadwater Farm Conservation Area.

The key views are, therefore, localised and include views from the north-west towards West Malling, from the slightly elevated Well Street to the north-east and from the lanes and Public Rights of Way that cross the combined site.

Viewpoint No. Location Description	Viewpoint value	Visual Receptor Susceptibility / Sensitivity	Potential Magnitude of Change by Typology *			Potential Overall Visual Effect by Typology*		
			Small	Medium	Large	Small	Medium	Large
VP64 - Station Approach looking east	Moderate	Recreational: Medium Susceptibility Moderate Sensitivity	Slight	Slight	N/A	Moderate- Minor Adverse	Moderate- Minor Adverse	N/A
VP873 - A228 bridge looking east	Moderate	Recreational: Medium Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A
VPx2 - Well Street looking south	Moderate	Recreational: High Susceptibility High Sensitivity	Moderate	Moderate	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A
VP69 - Broadwater Road/Lavenders Road looking north	Moderate	Recreational: Medium Susceptibility Moderate Sensitivity	Very Substantial	Very Substantial	N/A	Major Adverse	Major Adverse	N/A
VP70 - Broadwater Road/Lavenders Road looking south	Moderate	Recreational: Medium Susceptibility Moderate Sensitivity	Substantial	Substantial	N/A	Major- Moderate Adverse	Major- Moderate Adverse	N/A
VP65 - PROW off Broadwater Road looking west	Moderate	Recreational: High Susceptibility High Sensitivity	Very Substantial	Very Substantial	N/A	Major+ Adverse	Major+ Adverse	N/A

Note: * Assessments based on effects without mitigation

Visual Impact Appraisal

59740 and 59634 - Summary of Visual Effects

From the A228 overbridge at Lavender Road (VP873) the westernmost part of the combined site around New Barns is visible and beyond to the north-east to the elevated land up to Well Street. The northern part is screened by the rising topography and the southern and eastern parts screened by intervening vegetation. From the A228, little of the combined site is visible, although at the existing junction of the A228 and West Malling Station (VP64), a site access location would be visible. The Bridleway between New Barns and Broadwater Farm across the combined sites offers open views (VP65) to the north and south. Those to south include views towards Kings Hill, although the existing settlement is screened by the vegetation within the southern part of the combined sites and along the southern boundary of the sites. From the north-east at Well Street there are several breaks in the roadside vegetation that allow southerly views to the combined sites (VP872). As with the view from the Bridleway above, these are towards Kings Hill, but the settlement is screened by

vegetation within the combined site and along the southern boundary. Whilst the lanes through and around the sites offer few views, at the meeting of Lavender Road and Broadwater Road (VP69), there is a more open southerly view and a partially screen view into the smaller, southern of the two sites (site 59634).

The actual extent of visibility of the potential development would be limited overall and mainly limited to nearby and immediately adjacent highways and Public Rights of Way in and close to the site. The well-tended nature of the shelterbelts and hedges in the west and denser hedgerows and wooded edges in the east mean that the views into the site, where they are available, are restricted by this vegetation. For the small scale residential development typology, the overall visual effects on receptors using the public highways close or adjacent to the combined site would generally be of an overall Major-Moderate adverse effect. As seen from the Public Rights of Way viewpoints inside or at the boundary of the site the

Proposed development type: Residential

visual effects would rise to an overall Major+ adverse effects. For the medium scale residential development typology, the overall visual effects would generally be around the same in all views as the small scale development typology. For the large scale residential development typology, the level of overall visual effects would rise to Major for the near views and up to Major+ adverse for the Public Rights of Way views within the combined site.

The extent of the visual effects would be relatively constrained but there would still be a series of views that would be significantly impacted close to and within the combined site. Any development would need to seek to minimise the greatest of these visual effects through setbacks of the development and strategic buffer planting. This would be a particularly important consideration in the views from the two Conservation Areas.

Visual Impact Appraisal

59740 and 59634 - Viewpoint Images

VP64 - Station Approach looking east

Approximate site extent



Visual Impact Appraisal

59740 and 59634 - Viewpoint Images

VP873 - A228 bridge looking east

Approximate site extent



VP872 - Well Street looking south

Approximate site extent



Visual Impact Appraisal

59740 and 59634 - Viewpoint Images

VP69 - Broadwter Road/Lavenders Road looking north

Approximate site extent



VP70 - Broadwter Road/Lavenders Road looking south

Approximate site extent



VP65 - PRoW off Broadwater Road looking west

Approximate site extent



Landscape Impact Appraisal

Proposed development type: Residential

59740 and 59634 - Summary of Landscape Effects

Landscape Character Area(s)	Landscape Sensitivity Area(s)	National Landscape	Landscape Value*	Landscape Susceptibility by Typology*	Landscape Sensitivity by Typology*	Potential Magnitude of Change by Typology **			Potential Overall Landscape Effect by Typology**		
						Small	Medium	Large	Small	Medium	Large
5a: East Malling Greensand Fruit Belt	KMW01	No	Medium	Small: Medium-Low Medium: Medium Large: High-Medium	Small: Medium-Low Medium: Medium Large: High-Medium	Very Substantial	Very Substantial	Very Substantial	Major/ Major-Moderate Adverse	Major Adverse	Major/ Major+ Adverse

Notes: * Assessments of landscape value, susceptibility and sensitivity are taken from the Landscape Sensitivity Assessment

** Assessments based on effects without mitigation

Landscape Impact Appraisal Overall Summary

The site is located within LSA KMW01, which has Medium landscape sensitivity to both small and medium scale residential development typologies and High-Medium to large scale residential.

The site is very gently undulating. The main body of the site to the south is relatively flat, sloping gently from south to north. This falls gently into a shallow valley before rising and rolling over again to its northern edge by the A228 and railway line. The site is comprised of regularly shaped fields of fruit orchards, with a few larger arable fields and some grassed pasture.

Lavender Road and Broadwater Road bisect the site, broadly north to south. These two narrow lanes are sunken in character, bounded by robust hedges with mature hedgerow trees. Pikey Lane is also narrow and sunken but bounded by younger planted hedges and shelterbelts, although there are several remnant mature trees.

The western boundary lies against a new developed residential area of Kings Hill and the northwestern edge against the A228 up to the railway in the north. The northeastern boundary follows several field boundaries and also, in part, the route of Broadwater Lane south to Pikey Lane, where the boundary extends back north up to Broadwater Farm. The eastern boundary is defined by a shelterbelt of trees and further woodland, whilst the southern boundary adjoins the developed edge of Kings Hill and an area of woodland with private residencies off Lavender Road.

The main landscape changes would be the loss of the arable and horticultural land uses and potentially changes and losses to the internal structure of the shelterbelts. There would be a change in use of these parts of the site from a rural landscape to an urban one and,

consequently, a substantial loss of its openness and rural quality. There would also be the partial urbanising effects of further residential development on the countryside, as although it would adjoin well defined and partially developed edges to the west and south, the northeastern and eastern boundaries lie against countryside.

A key factor in the assessment of the magnitude of the landscape effects is the large scale of the site relative to the Landscape Sensitivity Assessment area. The site occupies much of this and, consequently, the magnitude of the effect for all development typologies is considered to be Very Substantial adverse. The landscape changes would have an overall Major/Major-Moderate adverse impact in the case of the small scale residential development typology, rising to Major adverse for the medium scale and an overall Major+/Major adverse impact for the large scale residential development typology.

Landscape and Visual Impact Appraisal

Proposed development type: Residential

59740 and 59634 - Summary of Landscape and Visual Effects

Landscape and Visual Appraisal Conclusions

The extent of the visual effects would be relatively constrained but there would be a significant degree of overall visual effects close to the combined site's boundaries and from within the combined site. Some of these views are from within or at the edges of two Conservation Areas. These views and others from within and adjoining the northern part of the combined site mean that the northern part of the site, roughly north of a line between new Barns and Pikey Lane, is especially visually sensitive. The southern portion of the combined site is less sensitive as much of it is largely screened from local views by vegetation occurring within the site, although the western part is partially visible from the west.

Whilst there would be a significant change to the landscape character of the southern portion of the combined site, there is potential in landscape character terms for development of the small and medium scale residential development typologies, framed in part by the structure of shelterbelt and hedgerow vegetation, without undue harm to the landscape character of the surrounds. The southern and eastern boundaries of this part of the combined site are robust in landscape terms and require set backs only to protect the boundary and adjoining vegetation. The western boundary requires careful design of set backs and structural screen planting to mitigate the visual effects on views from the west.

The northern portion is more open and has a gently rolling topography that would make it difficult to accommodate widespread development in landscape character terms. It also includes part of the New Barns, Broadwater Farm Conservation Area. There is highly limited potential for significant development in the northern portion for the small and medium scale development typologies. there is some potential to accommodate an access but the vertical and horizontal design of this would need to be very carefully considered with the aim of using the vertical alignment to follow the contours without excessive cut and fill and for the horizontal alignment to retain existing vegetation and to follow the existing features wherever possible. Landscape planting, by way of mitigation, should focus on helping to strengthen the landscape fabric of the area, providing some softening of the visual and landscape effects but not necessarily fully screen the access where this would affect long views and visual connections across the Conservation Area especially.

Defining a landscape boundary between the northern and southern portions is crucial to the acceptability of a potential development in landscape terms. Pikey Lane and an existing field boundary west of Lavender Lane provide some degree of existing structure upon which to build a robust and well landscaped edge. the section between these two is visually open and not strongly defined on the ground. A new landscaped edge would be required here.

The large scale residential development typology would represent a 'step up' in scale of development from other nearby residential settlements. however, there may be some potential for a small part of the site to accommodate this, at a neighbourhood centre for example, but not across the site as a whole.



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