

Snodland Character Areas

Supplementary Planning Document



Adopted July 2011



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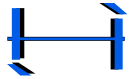
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Key to Maps



Views



Panoramas



Local Landmark



Visual Intrusion



Nodes



Businesses



Protected Trees



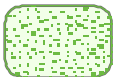
Protected Woodland or Groups of Trees



Important Tree and Hedge Belts



Conservation Area



Open Space



Listed Buildings

1 What is the Supplementary Planning Document?

Good design is a key element of sustainable development, so the Borough Council will promote a high standard of design. A high quality, well designed, development can enhance the sense of place and identity of an area and can bring significant benefits to the local environment and economy.

The 'character of an area' is often mentioned in the context of considering development proposals. What is often missing is a clear identification of, and agreement about, the locally distinctive features of an area that give it character that should be given careful regard in considering proposals for development. This Character Area Appraisals Supplementary Planning Document (SPD) sets out to define the character of identifiable local areas across the Borough for that purpose.

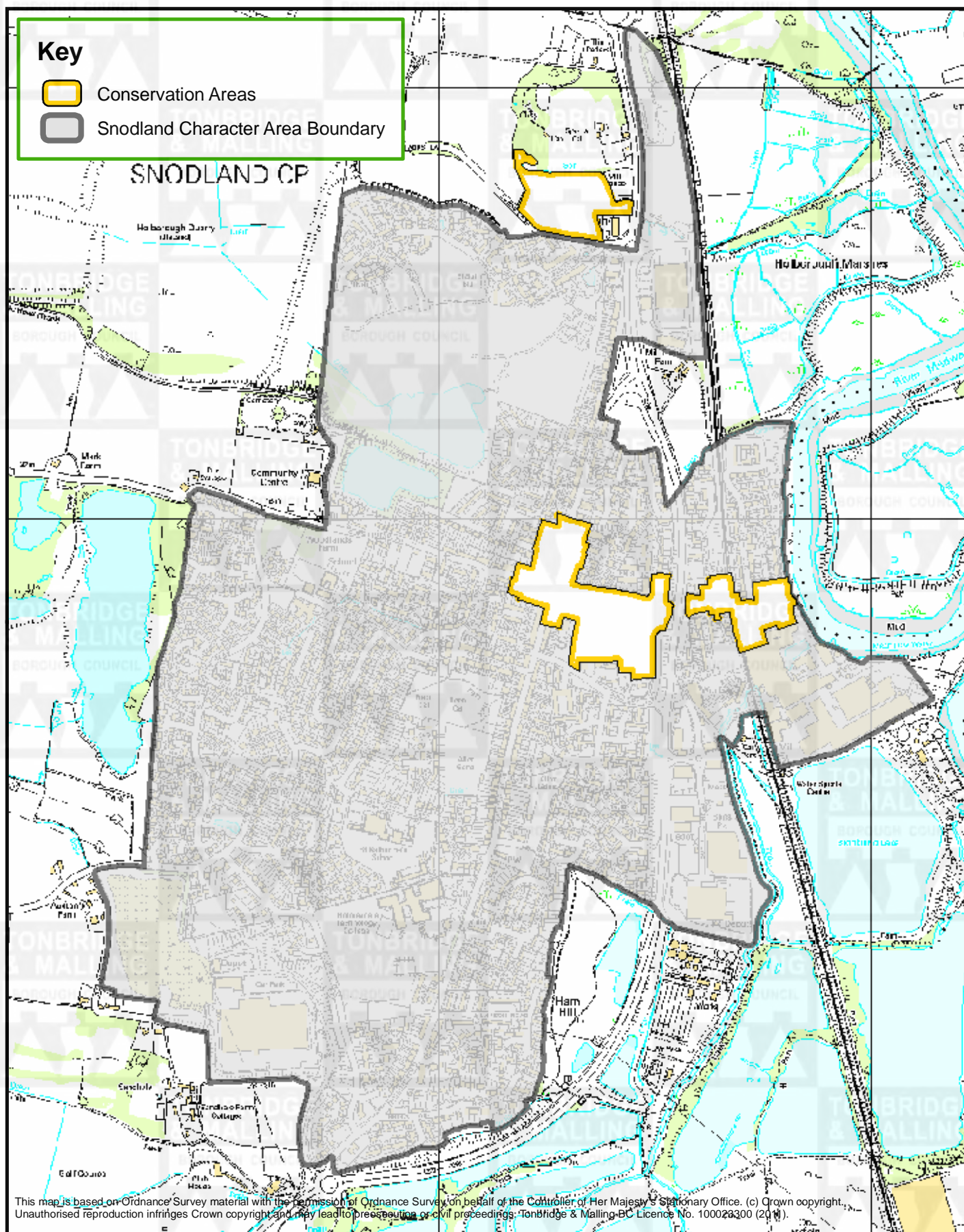
The Managing Development and the Environment DPD states that it is important that unique characteristics of an area are identified and protected and where practicable enhanced having regard to the Character Area Appraisals SPD in order to strengthen this diversity rather than eroding its character and local distinctiveness. Government guidance (PPS3) advocates that Local Planning Authorities should develop a shared vision with their local communities of the type(s) of residential environments they wish to see and develop design policies that set out the quality of development that will be expected for the local area.

The Borough Council is undertaking character area appraisals of all of the main urban areas in the Borough, including the larger villages, defined in the Local Development Framework (LDF) as Rural Service Centres. The Character Area Appraisals SPD therefore comprises a number of separate volumes.

Appraisals are being prepared for:

- the Tonbridge Urban Area;
- The northern urban areas (including the Medway Gap, **Snodland** and Walderslade) and
- the Rural Service Centres – Hildenborough (including Hilden Park), Hadlow, East Peckham, Borough Green and West Malling

This particular part of the SPD sets out to define the character of, and appropriate design guidance for, the urban area of Snodland, excluding the Conservation Area – for which separate guidance has already been prepared (see Map 1).



Map 1: Snodland Area Boundary

Snodland Character Area Appraisal

0 750 1,500 Metres

The SPD will be adopted as part of the LDF. It provides further detail about how planning policies will be applied in those parts of Snodland not within industrial areas and outside of the Conservation Area. Once adopted, it will be a material consideration in determining planning applications in the part of Snodland to which it applies. Developers and householders should refer to the document in formulating proposals.

The document aims to raise the standard of design of new proposals such that they fit well with the locally distinctive character of an area. Design which is considered to be inappropriate in its context is unlikely to be acceptable and efforts will be made to improve the character and quality of an area through the preparation and consideration of development proposals.

2 Purpose of the Supplementary Planning Document

This SPD aims:

- To supplement adopted design policies for assessing development proposals within an area;
- To identify the locally distinctive features that define the character of those parts of Snodland not included within the town's Conservation Area;
- To raise awareness of, and provide guidance on, the appropriateness of the design of development within an area in order to strengthen diversity rather than erode character and local distinctiveness;
- To assist the appraisal of planning and allied applications; and
- To deliver improved designs, in practice, which enhance the character of the area.

3 Policy Context

The SPD is consistent with national planning policy and in general conformity with regional planning policies and is supplementary to the policies set out in the Development Plan Documents (DPDs) contained in the LDF.

3.1 National Planning Policies

Planning Policy Statement 1 (Delivering Sustainable Development) states that the Government is committed to protecting and enhancing the quality of the natural and historic environment, in both rural and urban areas. Planning policies should seek to protect and enhance the quality, character and amenity value of the countryside and urban areas as a whole.

Planning authorities should seek to maintain and improve the local environment and help to mitigate the effects of declining environmental quality through positive policies on issues such as design, conservation and the provision of public space.

Planning authorities should plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes. Good design should contribute positively to making places better for people and take the opportunity to improve the character and quality of an area.

Design policies should avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, density, massing, height, landscape, layout and access of new development in relation to neighbouring buildings and the local area more generally. Local planning authorities should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness particularly where this is supported by clear plan policies or supplementary planning documents on design.

Planning Policy Statement 3 (Housing) affirms that good design should contribute positively to making places better for people. Design which is inappropriate in its context, or which fails to take the opportunities available for improving the character and quality of an area and the way it functions, should not be accepted.

The guidance advocates that Local Planning Authorities should develop a shared vision with their local communities of the type(s) of residential environments they wish to see and develop design policies that set out the quality of development that will be expected for the local area, aimed at:

- Creating places, streets and spaces which meet the needs of people, are visually attractive, safe, accessible, functional, inclusive, have their own distinctive identity and maintain and improve local character.
- Promoting designs and layouts which make efficient and effective use of land, including encouraging innovative approaches to help deliver high quality outcomes.

Good design is fundamental to using land efficiently. Local Planning Authorities should facilitate good design by identifying the distinctive features that define the character of a particular local area.

Careful attention to design is particularly important where the chosen local strategy involves intensification of the existing urban fabric. More intensive development is not always appropriate. However, when well designed and built in the right location, it can enhance the character and quality of an area.

PPS3 states that the density of existing development should not dictate that of new housing by stifling change or requiring replication of existing style or form. If done well, imaginative design and layout of new development can lead to a more efficient use of land without compromising the quality of the local environment.

3.2 Core Strategy – September 2007

One of the prime aims of the Core Strategy is to ensure that new development result in a high quality environment by, for example, promoting and delivering new development that can positively contribute to the spatial quality of towns and maintaining or enhancing local distinctiveness.

Core Policy CP24 states that all development must be well designed and of a high quality in terms of detailing and use of appropriate materials, and must, through its scale, density, layout, siting, character and appearance, be designed to respect the site and its surroundings. Wherever possible, all development should make a positive contribution towards the enhancement of the appearance of the area.

3.3 Managing Development and the Environment DPD – April 2010

The DPD states that the diverse character of Snodland should be protected and enhanced for its own sake as it is important for the social, economic and environmental wellbeing of the Borough. It is important that the unique characteristics of the area are identified and protected and where practicable enhanced in line with Core Policy CP24 having regard to the Character Area Appraisals SPD in order to strengthen this diversity rather than eroding its character and local distinctiveness.

Policy SQ1 requires proposals for development to reflect the local distinctiveness, condition and sensitivity to change of the local character areas as defined in the Character Area Appraisals SPD.

All new development should protect, conserve and, where possible, enhance:

- (a) the character and local distinctiveness of the area including its historical and architectural interest and the prevailing level of tranquillity;*
- (b) the distinctive setting of, and relationship between, the pattern of settlement, roads and the landscape, urban form and important views...*

4 Methodology

Planning Policy Statement 1 (Delivering Sustainable Development) advises local authorities to prepare robust policies on design. These should be based on an understanding and evaluation of the present defining characteristics of an area and that is the purpose and function of this SPD.

The evaluation of the Snodland area has involved an assessment of the character of the development of the area through the review of historic maps; comprehensive site surveys using the approach and characteristics advocated in By Design – Urban design in the planning system: towards better practice (DETR, 2000) – see Appendix 1.

An initial appraisal was undertaken of all areas of the town covered by this SPD and it was evident that a number of areas shared similar characteristics. From this assessment it was possible to identify a typology of character areas such as Nineteenth Century Cottages, Public Housing Schemes, Open Plan Housing and Compact Cul-de-sac Development.

The main road frontages, together with adjoining side roads, form the framework around which Snodland has developed and spread out from the historic core. Although each road frontage is different, they also share a number of common characteristics. As main frontages accommodating the most journeys, they also have a disproportionate influence on the perception of the town. For these reasons, Main Road Frontages are classified as a character area typology.

Where an area grew up sporadically over time through piecemeal development and redevelopment, this has led to mixed house types and layouts. These areas have been classified as Mixed Character Areas.

Although not necessarily physically adjoining each other, each character area typology generally grew up over the same period (with the exception of Mixed Character Areas) using layouts, designs and materials which were based on the technology, legislation and planning and design philosophies of that time. Thus these character area typologies shared common generic characteristics which were recorded using the following matrices:

- Locally Distinctive Contextual Features (including the age, type and height of buildings, the main uses, the predominant building materials and boundary treatments, and the types of open space).
- Locally Distinctive Positive Features
- Negative Features worthy of Enhancement

Street by street surveys were then undertaken of each of the separate areas which made up the broad character area typologies. These surveys identified features which were specific to each area such as landscape features, landmarks, views and detracting features. Locally Distinctive Positive and Negative Features were recorded for each area as text and on a Townscape Analysis Map.

Identifying the generic and area-specific Locally Distinctive Contextual and Positive Features should assist in interpreting Core Strategy Core Policy CP24 and Managing Development and the Environment DPD Policy SQ1 which seek designs which fit well with the local context and protect and conserve the character and local distinctiveness of an area. By identifying the Locally Distinctive Negative Features, the SPD also indicates features which could, through the application of Policy SQ1, be enhanced particularly through development opportunities.

Representative groups and elected Members of the Borough Council assisted at each of these stages – see Community Involvement below.

5 Community Involvement

Community involvement in the preparation of the SPD has closely followed the Borough Council's adopted Statement of Community Involvement which states that specific consultation will take place at an early stage on a draft of the document. Consultation is to be targeted at particular groups and individuals, depending on the specific nature of the issue or location dealt with by the SPD. There has been close stakeholder involvement in preparing this SPD in order to develop a shared vision with the local community of the type(s) of residential environments they wish to see and to develop appropriate design guidance.

Prior to the drafting of the SPD, three local stakeholder events were held. Firstly, a briefing session was held involving Borough Council officers, local amenity groups¹ and local Ward Councillors followed by a discussion on draft character area typologies and character area boundaries.

Secondly, a series of walkabouts were held involving Borough Council officers, local amenity groups and local Ward Councillors. Snodland was sub-divided into broad character areas and a selection of these areas were visited during the walkabouts to observe and record the key features which made up the character of the area.

As a third exercise the recorded features were then presented back as summarised text, annotated maps and photographs to the local representatives at a locally held workshop for review and discussion. Representatives were also asked about the elements of the environment they most valued about their local area and important detractors to the character of the town.

Borough Councillors have been kept informed from the inception of the SPD and have participated in the process of assisting with the preparation of the consultation document.

The Borough Council would like to thank the individuals and organisations who have contributed to the process to date.

Formal consultation under Regulation 17 on the Draft Character Assessment SPD took place between Friday 11 March and Thursday 21 April 2011. This included a manned exhibition in Snodland Market on the morning of Friday 18 and in the Town Council Offices at Waghorn Road on the afternoon of Saturday 19 March.

Copies of the SPD were available during this time for comment at the Borough Council offices, local library and on the website. Statutory consultees including the Parish Council as well as local experts were also consulted. Every resident in the area covered by the Appraisal was written to and advised of the consultation. The SPD was publicised in the local press, including the Parish Newsletter and there was a formal Public Notice in the press under Regulation 17.

The Council recognises that it is important to report back to the community and other stakeholders the response to their comments. The Council has published the feedback to the consultation on its website and in document format that is available in all Council offices and libraries.

¹ Snodland Historical Society, Snodland Chamber of Commerce

6 How to use the Document

Section 8 divides Snodland into separate character areas based on the methodology set out above.

Each separate character area is named and numbered on Map 2 below. If you are interested in a particular area, locate it on Map 2 and turn to the section on that character area in Section 8. The relevant page can be found by reference to the Contents page.

For each of the individual areas there is an assessment of the locally distinctive contextual features such as age, height and types of buildings; main uses; prominent building materials and boundary treatments and open spaces. Locally distinctive positive features and negative features worthy of enhancement are also recorded.

In setting out the important features and overall character of identifiable areas of the Borough, a local context is provided for the preparation and consideration of development proposals. This forms a canvas within which proposals for development should be conceived and determined. Generic Design Guidelines based on the identified locally distinctive features may be found in Section 9. These will form the basis for decision making which will interpret the individual character area appraisals.

7 Origins and Development of Snodland

Environments grow in response to local circumstances and it is therefore important to understand the principal influences which created the distinctive character areas of Snodland.

Snodland is a small town located on the River Medway between Rochester and Maidstone, with a population of approximately 12,000 people. The town is situated on the A228 connecting the Medway Towns with Tonbridge, and the M20 motorway junction 4 is 2 miles south of the town allowing good access to London and the Coast.

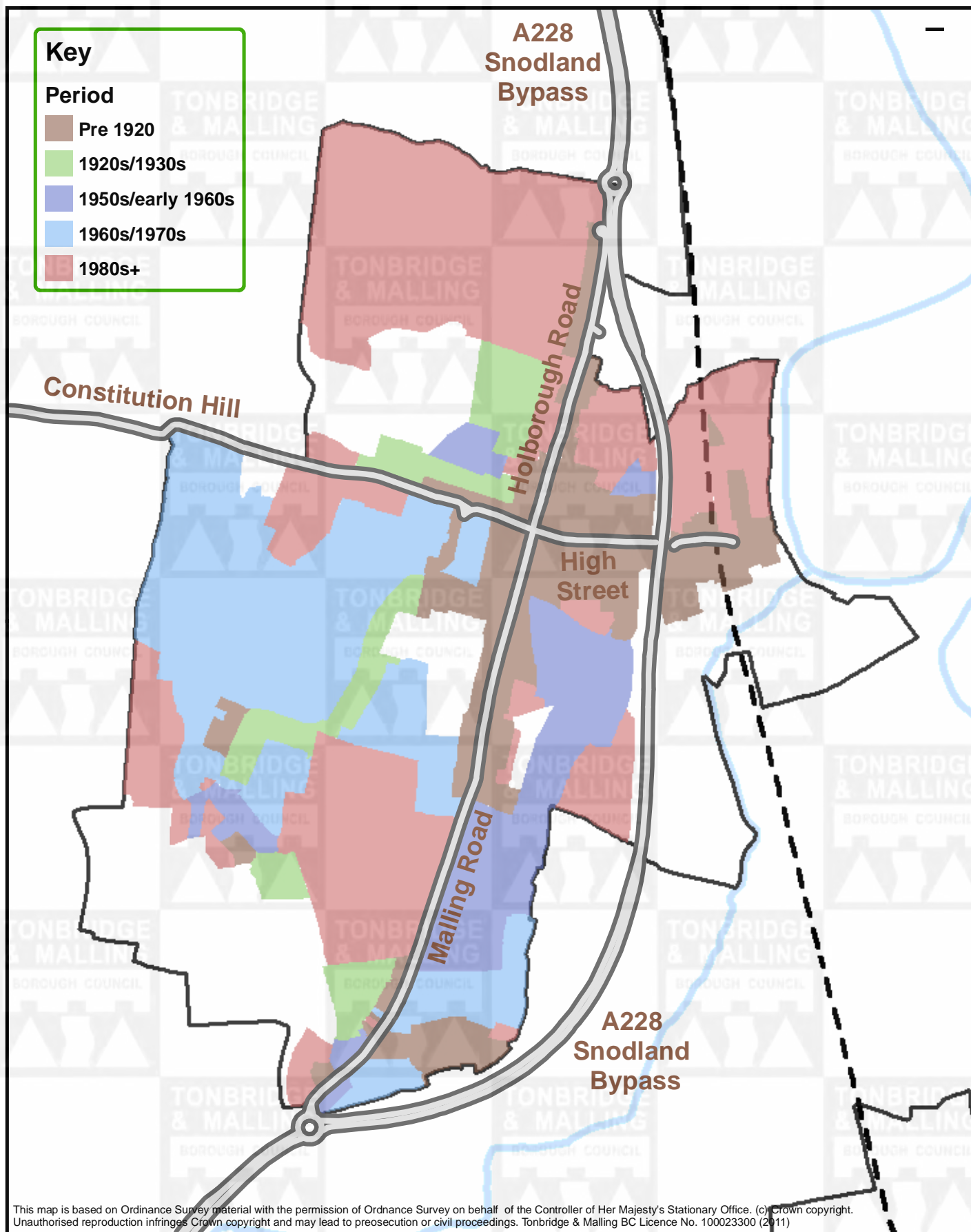
There is evidence that there has been a settlement at this location on the River Medway since before Roman times. It was an important crossing point over the Medway for Pilgrims heading to Canterbury.

Up until 19th Century Snodland was a relatively small rural village extending along what is now the High Street towards the parish church and ferry next to the river. It expanded dramatically in the 19th Century and early 20th Century, largely as a result of the construction of the railway and an increased demand for housing associated with heavy industry, in particular chalk extraction, cement and lime manufacturing and paper manufacturing in the Medway Valley. After the Medway valley railway was opened in June 1856, the village trebled in size between 1861 and 1881.

The development of Snodland has been constrained by the railway line, the river and the location of industrial works.

Little further growth occurred in the town until the 1960s when major "planned" growth took place around the edges of the town, particularly to the west. This continued into the early 1990s when the strategic focus for house building shifted towards developing brownfield land rather than green field sites. This resulted in small scale in-fill developments within the built up confines of the town. In 2005, Berkeley Homes commenced development of the former quarry at Holborough for approximately 1,200 new homes which had been allocated for development in the local plan.

Snodland Conservation Area was designated and adopted in June 1993 and recently readopted in 2005. The Character Area Appraisal work did not look at the conservation area again, as this work has recently been carried out and there have not been any changes in or around the area to make such a review necessary. Instead, the focus of this work has been to look at the remaining areas of Snodland and to appraise their character.



Map 3: Evolution of Snodland
Snodland Character Area Appraisal

0 500 1,000 Metres



8 Character Area Appraisals

Close analysis has been undertaken to identify the distinctive features that define the character of the different parts of Snodland using recognised methodologies and with public involvement. The next sections of the SPD describe the locally distinctive contextual features of each area as well as locally distinctive positive features and negative features that are worthy of enhancement.

Key characteristics of each Character Area are illustrated on a Townscape Analysis Map and are summarised in table form. Annotated photographs are also included to depict part of the character of the area.

Whilst the principal characteristics have been summarised, it has not been possible to illustrate each individual feature and consequently the absence of a feature from this document does not necessarily mean that it is unimportant to the character of the local area.

This appraisal looks only at the town of Snodland (not the Parish) and only within the defined confines of the urban area.

Map 2 identifies three Areas of Landscape Significance within the built up area, including Holborough Road Allotments and the Recreation Ground which do not form part of any individual Character Area but contribute to the character and setting of the areas that abut them.

A – MAIN ROAD FRONTAGE

The settlement of Snodland originally consisted of a small number of properties clustered around All Saints Church and along the High Street. Malling Road and Holborough Road, which now provide the main north/south route for travel to Tonbridge/West Malling from the Medway Towns, were later additions to the road network.

The first significant growth of Snodland took place in the latter half of the 19th Century, and followed a linear pattern along Malling Road and Holborough Road outwards away from the crossroads junction with the High Street and Constitution Hill that runs east/west within the Conservation Area and the centre of the town.

The ages of the properties along main road frontages typically vary to reflect the historical development of the settlement and the pattern in Snodland is no different. The older properties are set in the core of the town, in what is the Conservation Area, with the properties becoming younger in age as they move away from the centre. However, Holborough and Ham Hill were small settlements in their own rights during the Victorian era and earlier, and the properties are older along the main road frontages that were originally part of these individual settlements. There has been a significant amount of infill from various eras ranging from individual properties to groups of properties with residential units set back behind the main road.

With the exception of the town centre that falls within the Conservation Area, the use of the buildings along the main road is almost exclusively residential with some retail and commercial premises, the Freemasons Arms public house, Holmsdale School and working men's clubs. These non-residential uses provide nodes.

The scale of the buildings varies slightly from tight knit, narrow 2 storey terraced cottages to larger 2 storey villas or semi detached properties, some properties have dormer windows, creating a third storey. Individually designed detached buildings are few and far between and are distinctive because they are so different in design to the traditional buildings that surround them.

Until the by-pass was built in 1980, all north/south and south/north traffic had to pass through this route. Where the buildings are older, the road is narrower and pinch points do occur where there is on street parking. The parts of the road that are wider accommodate more modern development, often with wide pavements, grass verges or off street parking. As these routes provide the main entrance into the town, special gateway entrance features were created to enhance the identity and streetscape of Snodland. These unified signs can be found at each of the main entrance point to the town.

Despite the bypass, Malling Road and Holborough Road are busy at most times of the day because they are the main route through the centre of the town, provide access to the town centre and are the only means of access to the residential western areas of Snodland from the bypass.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

Age of buildings	Victorian to 1980s
Type of buildings	Terraced and semi detached
Main uses	Residential
Building Heights	2 – 3 storey
Prominent building materials	Yellow, brown, red, orange or buff brick, grey slate or red or brown concrete tiles.
Predominant boundary treatments	Low iron railings, low brick walls
Open Spaces	None

Locally Distinctive Positive Features

- Generally cohesive scale of building, uniform roofline, building line and boundary treatments create a distinctive character for the area
- The progression of building styles and ages provides a window on the historical development of Snodland
- Individual listed and unlisted buildings form prominent local landmarks
- Many buildings retain their original features such as decorative lintels, string courses and frontage boundary treatments such as iron railings and gates
- Individually designed gateway street furniture for Snodland
- Vistas and views of the Snodland Clock Tower, the North Downs and the Greensand Ridge

Negative Features Worthy of Enhancement

- Traffic noise and movement detracts from the historic character of these major routes
- In some cases, uncoordinated road signage and street furniture, some of which is in poor condition, detracts from the character of these areas, particularly along the entry points into the town
- Loss of front boundaries

A1 – MALLING ROAD

Comprising: Malling Road, Sharnal Lane and Lewis Mews.

Malling Road begins in the centre of Snodland which is within the Conservation Area immediately adjoining Holborough Road and the High Street and Constitution Hill at the crossroads. Malling Road continues southwards sloping gently along the way to the by-pass just outside the urban confines of Snodland. It connects the southern part of Snodland known as Ham Hill with the main town. The oldest properties are Victorian and are within the centre of Snodland. As the road heads southwards, the properties become larger in scale and are late Victorian, with some twentieth century infill up to Christ Church which is a local landmark and provides a focal point before the character of the road changes. After this point, post war public housing development follows on the eastern side, set back from the road at a lower level. Holmesdale Technology College on the other side (west) of the road is set back in open lawned school grounds and car park that contributes to the open character of the area. There is some modern infill, circa 1930s, between this and the few Victorian properties that were originally part of Ham Hill village.

The character area has been divided into six distinct sub-areas.

A1.1 – MALLING ROAD NORTH

This section of Malling Road contains some of the oldest properties in Snodland outside of the Conservation Area. Alongside those in Holborough Road, it was one of the first areas to be developed for housing following the growth of industry in the town. It is close to the town centre and the Conservation Area.

Starting in the north, this section of road is lined by tight knit, mid Victorian terraced properties with shallow iron railing frontages. Originally built in brown brick with grey slate roofs and sash windows, with wide stone lintels, many of the properties have been individualised with porch extensions, and replacement windows and doors. Although there are now a variety of boundary treatments, they are generally enclosed and at a consistent height. Satellite dishes are also a common modern day addition.



Continuing southwards, later properties were constructed in a more generous scale to reflect the evolving architectural style. They were brown brick built with canted bay windows on the ground floor, and tall chimneys, but shallower frontages with low brown brick wall boundaries. Most have now been individualised with painted render and replacement doors and windows.

In 1878, the Methodist Chapel was built on the corner of Malling Road and Chapel Road. It has since been converted into a car dealership and garage, but many of the original building features have been retained, such as the tall arched windows and quoins. It is a local landmark because the design of the building is in stark contrast to the adjacent modern commercial development.



Properties became grander still heading southwards where they were constructed to house the managers and foremen of the industrial works in the town. These villas are larger in scale, semi-detached and terraced. They provide a strong rhythm as they are built in blocks of two and four with repeated design features of front facing gable ends, chimneys, and traditional details of two storey canted bay windows with pilasters, white painted lintel bricks and woodwork. There is a variety of brick colour as a result of decorative brick courses in the side elevations of the properties, including buff brick with red stringcourse detail and red brick with buff brick stringcourse detail. Red brick pillars and low brick walls provide enclosed frontages. The blocks have commemorative plaques that name and date each set of villas. There are few modern additions, (e.g. porch extensions and replacement windows), which further strengthens the unified character of the area.





The scale and bulk of the buildings along this section of Malling Road reflects the historical growth of Snodland during the industrial revolution, stopping at Christ Church with its mature specimen tree, acting as an important local landmark. Diagonally opposite the Church is a large buff brick with red brick decorative detail Victorian mansion house set back from the road in a large garden. This property is unique in Snodland because of its scale and position and provides a reference point. The high brick wall is a modern day replica of what would have been the original Victorian boundary wall.



The topography in this area affords long views to the east and the west of the Kent Downs where there is a break in the building line, and from the northern end of the character area, there are views of Snodland Clock Tower, a Victorian building that is synonymous with the town.



There are views eastwards of the North Downs where there are breaks in the building line on the eastern side of Malling Road.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

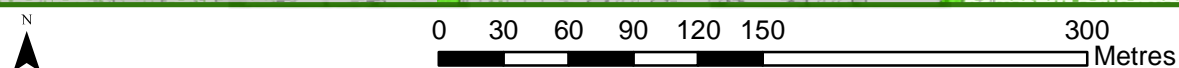
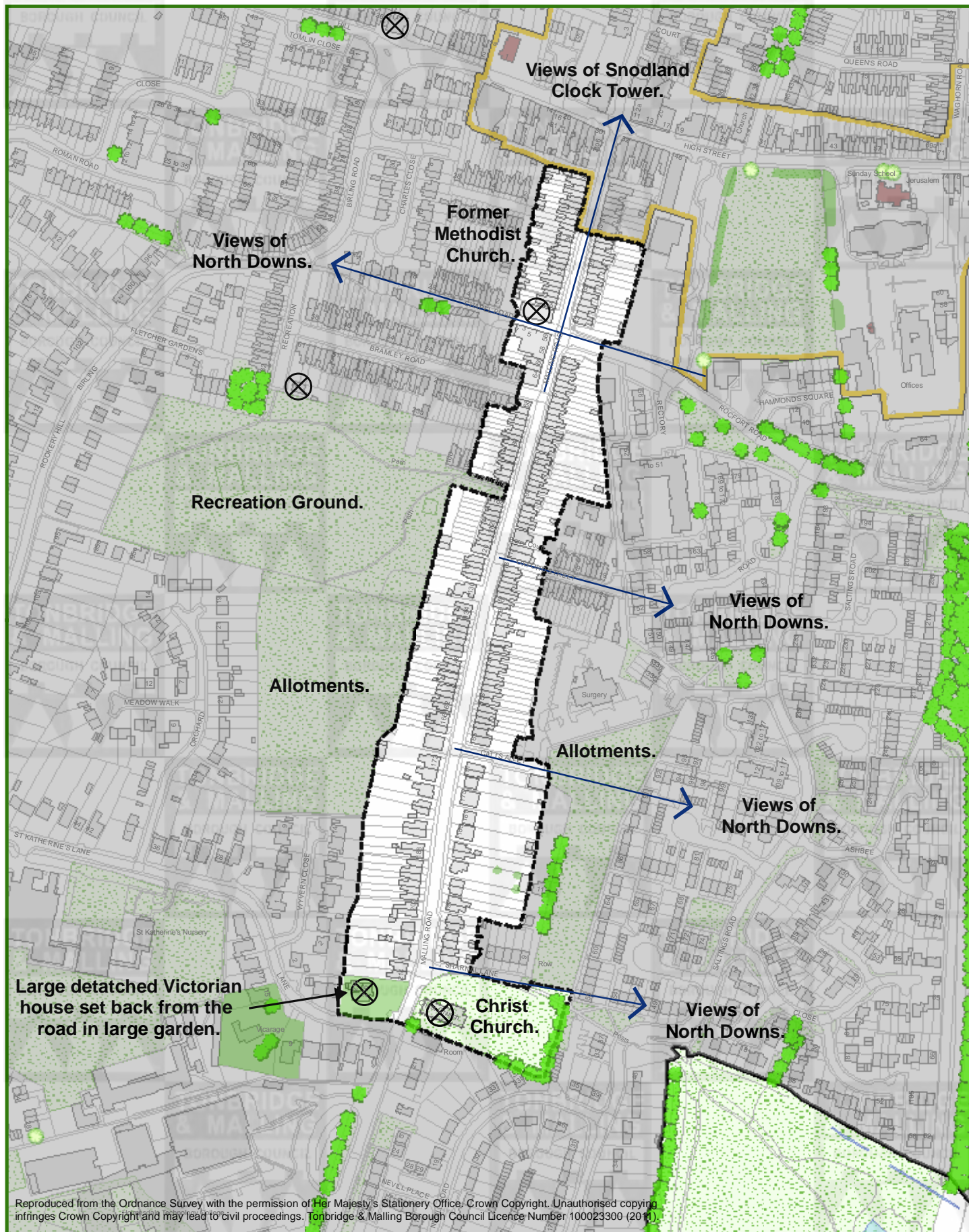
Age of buildings	Victorian
Type of buildings	Terraced
Main uses	Residential
Building Heights	2 storey
Prominent building materials	Brown, buff or red brick, grey slate.
Predominant boundary treatments	Low iron railings, low brick walls
Open Spaces	None

Locally Distinctive Positive Features

- The progression of building styles and ages provides a window on the historical development of Snodland
- Original features such as decorative string course and lintels are retained on many 19th century cottages
- Landmark buildings: the Corvette Garage (former Methodist church), the large Victorian mansion house on the corner of St. Katherine's Lane and Christ Church all provide reference points for the area.
- Glimpses eastwards of the North Downs and northwards of Snodland Clock Tower.

Negative Features Worthy of Enhancement

- Occasional noise from traffic and industry depending on the time of day and direction of the wind.



Ref **A1.1**

Title **Malling Road North**

Snodland Character Area Appraisal



A1.2 - SHARNAL LANE

This short row of 1970s terraced houses built on the northern side of the lane face directly onto Sharnal Lane and the Christ Church churchyard. The topography and straightness of Sharnal Lane allows panoramic views eastwards over to the North Downs. A large detached dwelling is situated behind the properties on Sharnal Lane but this is not visible from the road or from the neighbouring allotments due to land levels and the established trees and shrubs that surround it and contribute to the green character of the area to the east with the neighbouring allotments.



Built in buff brick, these 2 storey houses have white painted cement render on the upper floors, brown concrete tile roofs, and white casement windows with glazing bars. The frontages are deep and open and used for off street parking. The established trees and shrubs of the Churchyard spill through the iron railings and provide a verdant character to the area, contrasting with the lack of garden or landscaping at the frontages of the properties here.



Facing eastwards down Sharnal Lane are panoramic views of the North Downs, and the green boundary with Christ Church of trees, hedges and shrubs creates a green character to the area.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

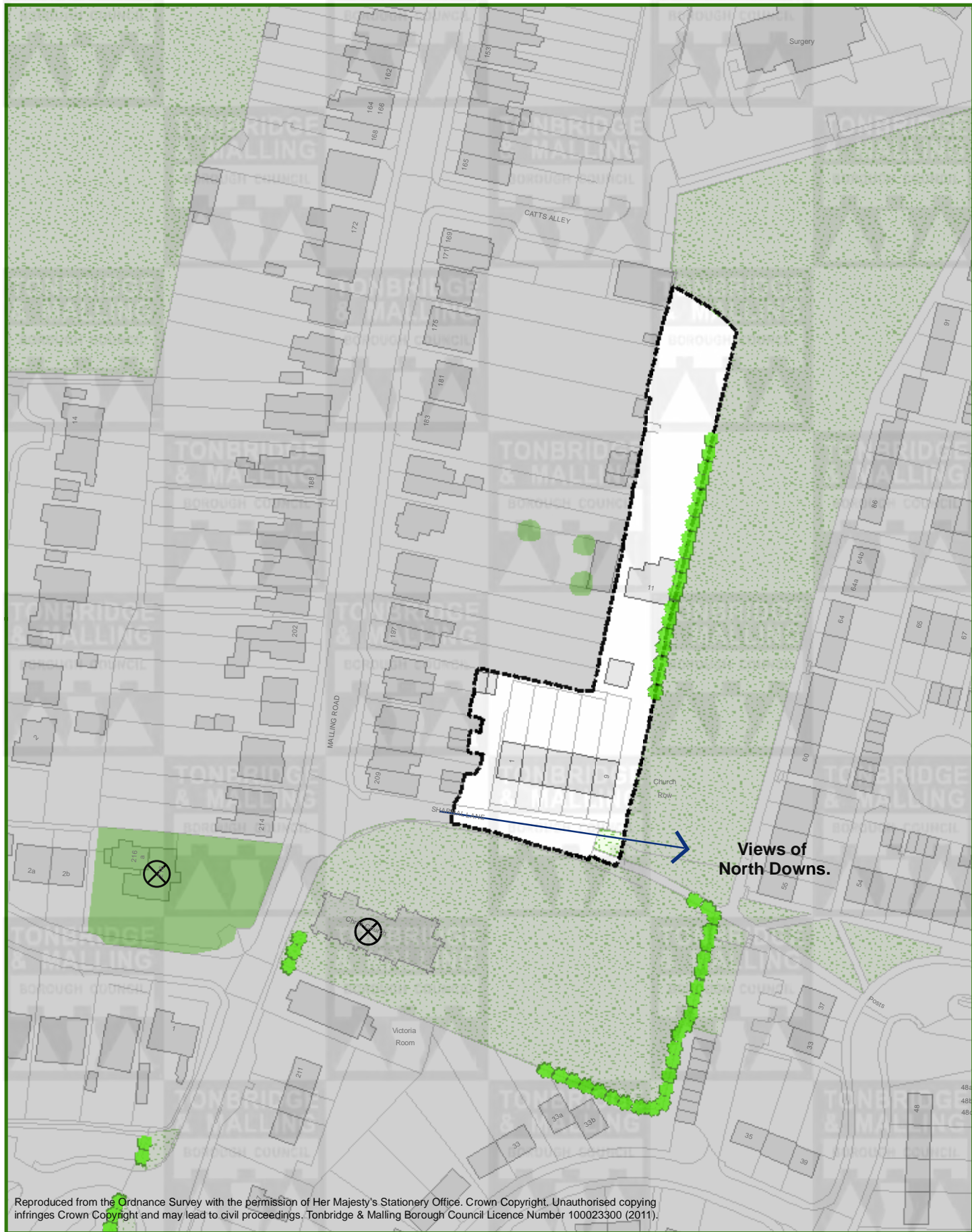
Age of buildings	1970s
Type of buildings	Terraced
Main uses	Residential
Building Heights	2 storey
Prominent building materials	Buff brick, white painted cement render, brown concrete roof tiles, white casement windows
Predominant boundary treatments	Open unenclosed frontages providing off street parking
Open Spaces	None

Locally Distinctive Positive Features

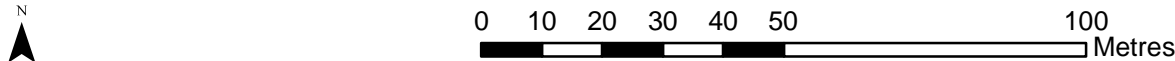
- Views of Christ Church, its churchyard and North Downs
- Mature and established trees and shrubs in the churchyard softens the overall streetscape which is otherwise hard

Negative Features Worthy of Enhancement

- Poor road surface
- Noise from nearby Mallong Road and industrial works depending on wind direction



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Ref **A1.2**
 Title **Sharnal Lane**
 Snodland Character Area Appraisal



A1.3 - LEWIS MEWS

Lewis Mews is accessed directly from Malling Road and was built in 2002/2003 on former school land (playing fields). It comprises 25 units set around a "T" shaped cul-de-sac. Although separate from Malling Road, it is prominent on the main road frontage and contrasts with the buildings opposite and further south.



Built in orange brick with red brick string course and lintel detailing, front facing gable pitched windows and red concrete roof tiles, the upper floors are covered with white painted render or brown peg tiles to reflect the local vernacular. Red concrete roof tiles and white casement windows are used throughout. The predominant building height is 3 storeys, but each of the properties at the entrance to Lewis Mews are 2 storeys and their frontages face onto Malling Road rather than onto Lewis Mews with low brick boundary wall and railings. The front gardens of the other properties are unenclosed with grass lawns and off street parking. The properties are terraced, giving a tight urban character and although the school playing fields are adjacent, they are not visible as a high, closed wooden fence surrounds them.



The site is level with school playing fields and Holmesdale Technical College to the north, west and south. There are panoramic views of the North Downs to the north and west of the area.

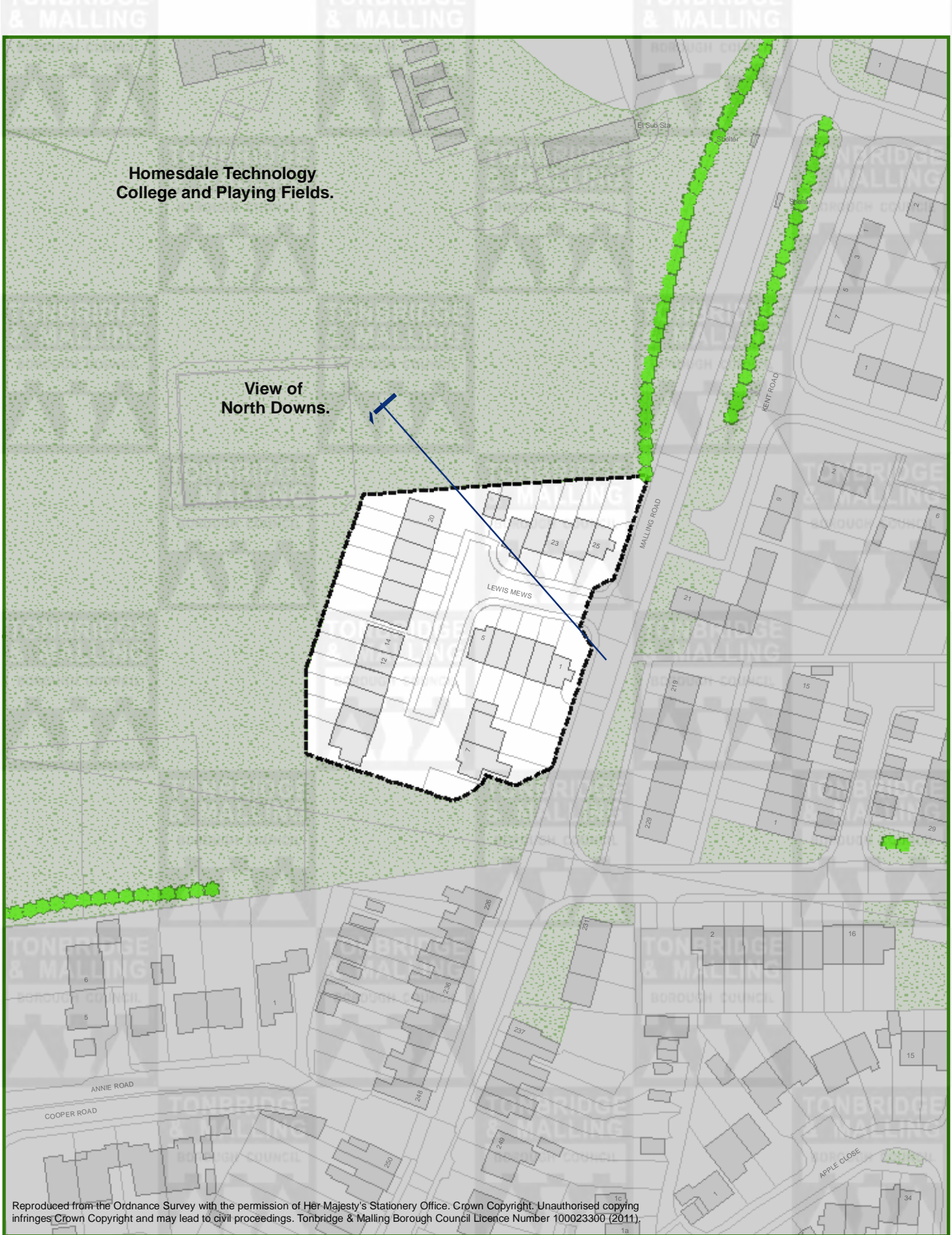
LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	2002/ 2003
Type of buildings	Terraced
Main uses	Residential
Building Heights	2 – 3 Storeys
Prominent building materials	Orange brick with red brick details, red concrete roof tiles, white casement windows, some painted render or hanging tiles.
Predominant boundary treatments	Open unenclosed frontages providing off street parking.
Open Spaces	None

Locally Distinctive Positive Features

- Views of North Downs
- Repetition of building design, details and materials creates a cohesive character and provides a sense of place

Negative Features Worthy of Enhancement

- No significant detractors



Ref **A1.3**

Title **Lewis Mews**

Snodland Character Area Appraisal



A1.4 - MALLING ROAD SOUTH

This section of Malling Road has an open unenclosed character with buildings set well back from the road behind deep open grassed frontages. The topography slopes downwards towards the east affording long views over to the North Downs, and to the south providing views over to the Greensand Ridge.



The properties facing the road at this section range from single storey bungalows to 3 storey blocks of flats. These are post war public housing, built circa 1950s, in orange brick with brown concrete tiled pitched roofs and repeated chimney design. White casement windows are the norm and there are flat roofed open porches at the entrance doors to each block of flats. Whilst the post-war public housing is open and exposed, Holmesdale Technology College (on the right) is sheltered behind an open metal fence with a line of mature trees and low hedge, contributing to the verdant character of the area.

Facing northwards, Holmesdale Technology College is on the left hand side set back behind the hedge and trees. Malling Road is wide and prepossessing at this point, providing a verdant, open character with open grass verges and mature trees lining the open tall metal fence between the highway and the College.



Facing southwards, the Greensand Ridge is visible in the background. The properties here have wide open grassed frontages. Orange brick with detailed bond on the side elevations, white casement windows and brown tiled roofs

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

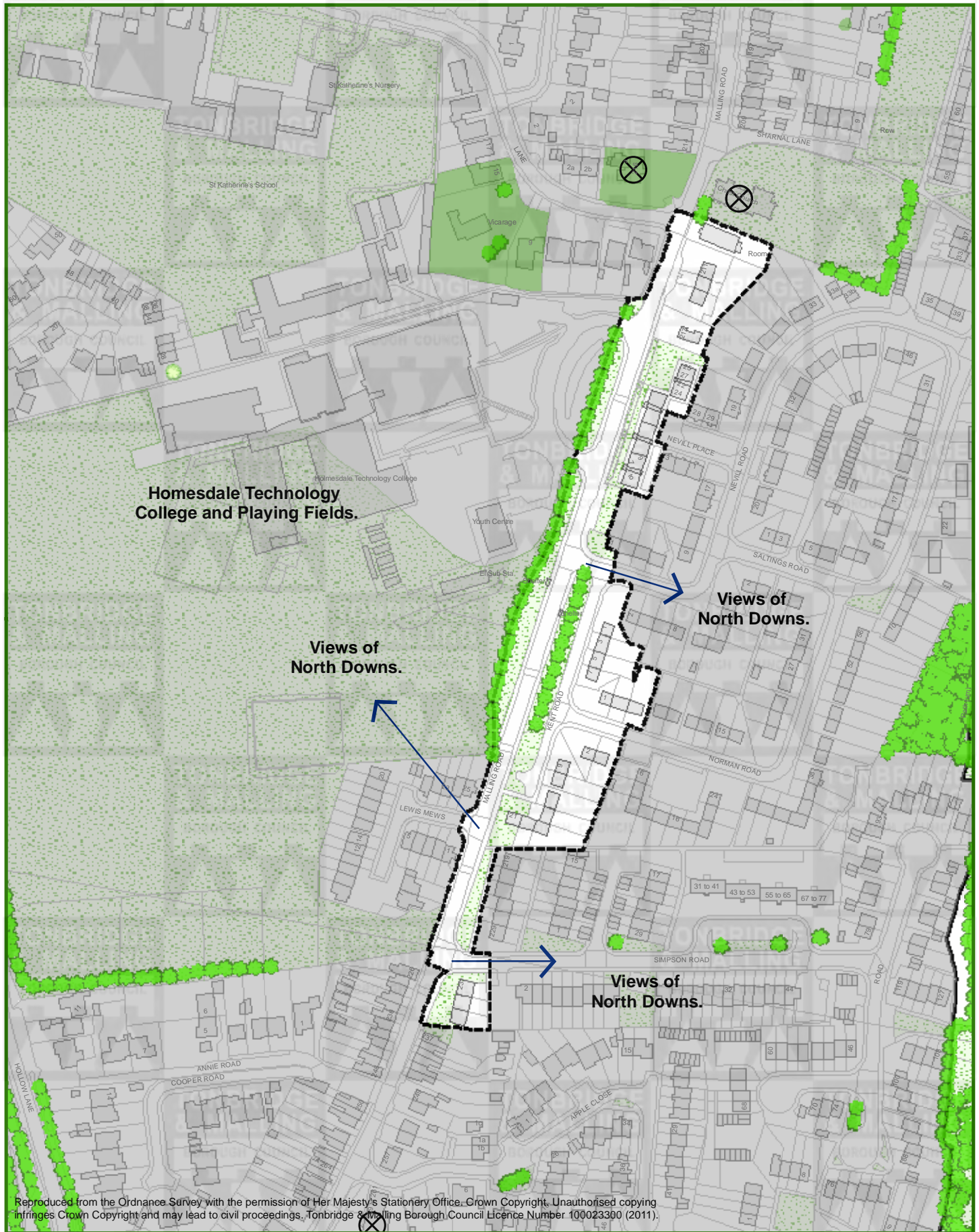
Age of buildings	1950s – 1960s
Type of buildings	Terraced, flats and bungalows
Main uses	Residential
Building Heights	1 – 3 storey
Prominent building materials	Orange brick, brown concrete roof tiles, white casement windows.
Predominant boundary treatments	Open unenclosed lawns, hedges and low brick walls and high open metal fencing along the boundary of the College.
Open Spaces	None, other than wide grassed verges

Locally Distinctive Positive Features

- Views of North Downs
- Wide grass verges and mature trees and hedges create a verdant character
- Wide and straight road and pavement with buildings set back from the road create a prepossessing character

Negative Features Worthy of Enhancement

- No significant detractors



Ref **A1.4**

Snodland Character Area Appraisal

Title **Malling Road South**



A1.5 - MALLING ROAD HAM HILL (NORTH)

This section of Malling Road is older and has a tight-knit grain, typical of the Victorian terraces found further along the road near the centre of Snodland. The properties here would have originally been part of Ham Hill village, but over time have become part of Snodland as the town has grown. Overall, the properties are mainly the same age, but there has been some infill from the 1930s to 1980s.



The Victorian properties are two storeys, some with dormer windows in the roof creating a third storey. Constructed in brown brick with red brick string course and lintels, most have been modernised with painted render frontages, and modern windows, replacing the original sash windows with casement. Frontages are shallow and enclosed by low brick walls with iron railings or hedges.

In addition to the Victorian properties, there are some 1930s to 1950s semi detached properties and 1970s to 1980s infill. There are no unifying architectural features or styles to connect the properties in this area, the character is mixed with a variety of building styles and materials ranging from larger Victorian detached and semi detached houses to 1930s/1950s semi detached and late twentieth century infill.





Ham Hill Working Mens Club is located here, but screened from the road by a tall closed wooden fence set on top of a grassed bank as the road levels dip slightly heading southwards, providing panoramic views of the Greensand Ridge.

Many properties have been individualised with replacement windows and front extensions which detract from the coherence of the building line.



Casement windows replace what would have been sash windows, but the decorative lintels and brick stringcourse have been retained.



Original wrought iron railings have been retained in some cases.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

Age of buildings	Victorian to 1980s
Type of buildings	Terraced and semi detached.
Main uses	Residential
Building Heights	2-3 storey include dormer windows in roof space
Prominent building materials	Brown brick with red brick details,
Predominant boundary treatments	Enclosed by brick walls and brick walls some with iron railings.
Open Spaces	None.

Locally Distinctive Positive Features

- Views of Greensand Ridge
- Some original features remain on Victorian properties such as decorative string courses, lintels and wrought iron railings
- The progression of building styles and ages provides a window on the historical development of Snodland

Negative Features Worthy of Enhancement

- Noise from traffic
- Some individualisation of properties has resulted in the loss of original features or has been unsympathetic to the original architectural style and period of the dwelling



0 10 20 30 40 50 100 Metres

Ref **A1.5**

Snodland Character Area Appraisal

Title **Malling Road Ham Hill (North)**



A1.6 - MALLING ROAD HAM HILL (SOUTH)

Comprising: Mallng Road, Brook lane, Hollow Lane and Corona Terrace.

This mixed character area comprises a range of uses, predominantly commercial with a small pocket of residential in the form of one house that faces onto Malling Road just north of the petrol station and Corona Terrace, a row of Victorian houses set behind Hollow Lane and barely visible from the road. This section of the town is the southern gateway to Snodland with specifically designed street furniture to denote the town's boundary. This main entrance to Snodland has open grass verges and tall trees that provide a green character to the area with views northwards in the distance of the North Downs.



Signage and street furniture was specifically designed for Snodland's "gateways". This southern approach has a red and yellow brick built entrance sign with the Town's emblem and coat of arms. The levels afford long views over to the North Downs to the north. The petrol station is prominent at the entrance to the town and provides a point of reference.



On the corner of Malling Road and Hollow Lane is a group of commercial buildings that are red brick built with red tiled hipped roof and a pair of residual oast roundels built of ragstone. The buildings are set back from the road but are completely visible from their surroundings.



The public house on the corner of Malling Road and Brook Lane is another local landmark as it also acts as a local reference point.

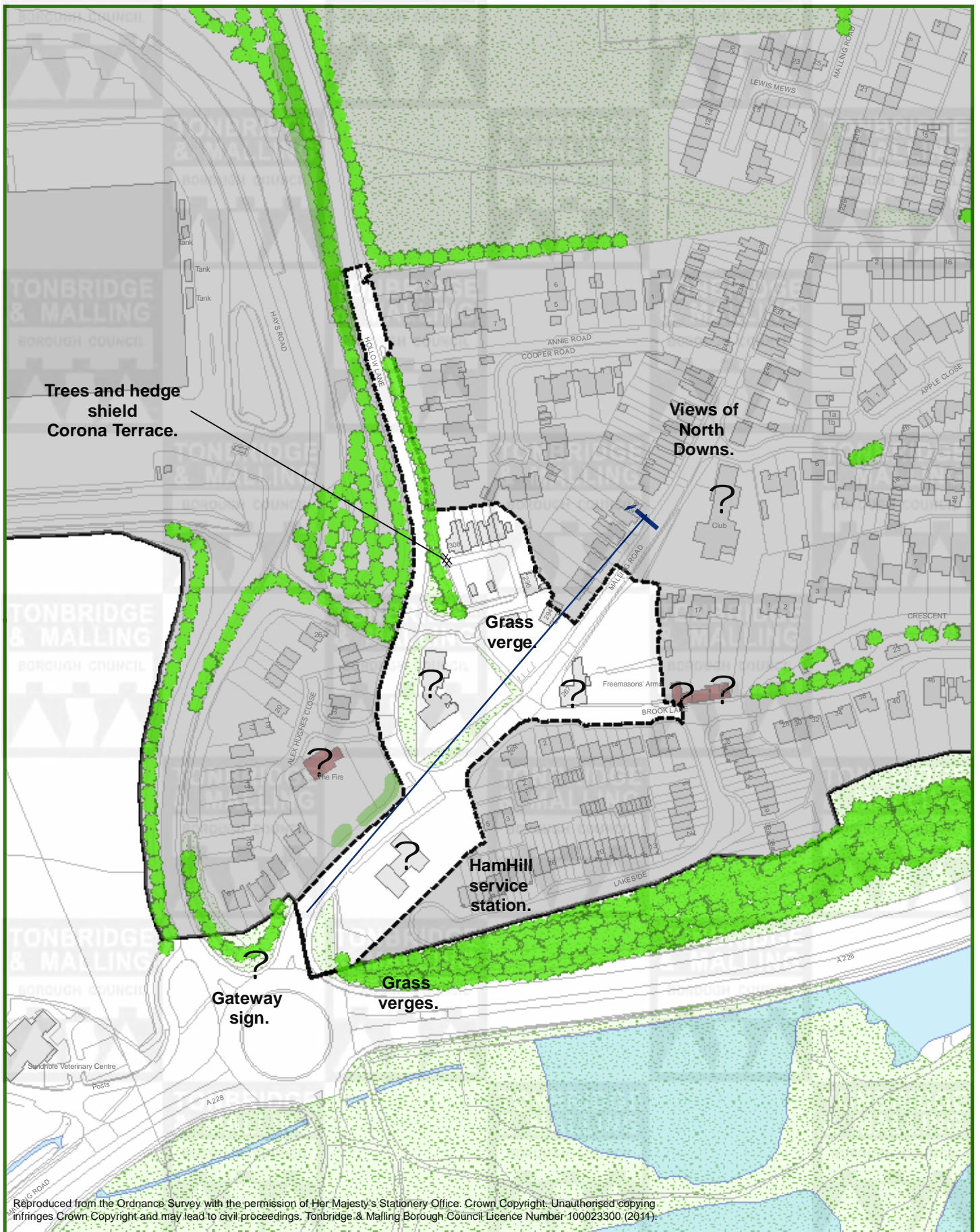
LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	Mixed age, some Victorian, mostly 1930s – 1960s and some modern infill.
Type of buildings	Large buildings
Main uses	Commercial and residential
Building heights	1 -2 storey
Prominent building materials	Red and yellow brick, white painted rendered brick, brown casement windows, black painted sash windows, brown casement windows, red roof tiles, grey slate.
Predominant boundary treatments	Enclosed with open mesh fencings or unenclosed with hard surface paving.
Open spaces	Grass verges and greenery from private gardens.

Locally Distinctive Positive Features

- Specially designed welcome signage and street furniture to denote the gateway status of the area
- Grass verges and greenery from private gardens backing onto the area create a green character
- The uniqueness of some of the buildings, including the residual oast roundels, act as local and historical reference points
- The Public House is a local landmark

Negative Features Worthy of Enhancement

- No significant detractors



Ref A1.6

Snodland Character Area Appraisal

Title Malling Road Ham Hill (South)



A2 – HOLBOROUGH ROAD

Comprising: Holborough Road, Clocktower Mews and Thomson Close.

Holborough Road, along with Malling Road forms the main north/south route through the town. It starts at the cross-roads with the High Street, Constitution Hill and Malling Road, and runs north/south connecting Snodland to what was the separate hamlet of Holborough. The road is a continuation of Malling Road and is linear in character, predominantly lined with nineteenth century terraced cottages on the western side facing onto the road with shallow fronts that unify the area by providing a sense of enclosure. In contrast, there are areas of open space, such as Willowside open space on the eastern side of Holborough Road that runs from the main road over to a line of tall trees at the boundary with the by-pass.

The town's most famous landmark is the Clock Tower built in 1877 by the Hook sisters in memory of their brother Charles, owner of the Townsend Hook Papermill. The Clock Tower can be seen from long distances, and although it is not listed, is of special local interest and adds significantly to the character of the town because it is such a locally distinctive building.

About half of the eastern side of the road is open space and backs on to the by-pass that is screened by a band of mature trees. On the eastern side of the road, there are two listed buildings adjacent to each other, the first a 16th century hall house and the second that was built in 1780. The properties on this side of the road have shallower front gardens, and a more 'urban' character.

There is a number of small in-fill sites that have been developed for housing, mainly mews-style back-land cul-de-sac development tucked behind the main road.

The character area has been divided into four distinct sub-areas.

A2.1 – HOLBOROUGH ROAD (SOUTH)

Starting in the south, just outside the Conservation Area, Holborough Road is a straight, linear road that heads northwards towards Holborough and the by-pass. There is variety in the age and architectural style of buildings along this road ranging from 16th century to Victorian, inter-war public housing and 1980s infill on a small and larger scale.

The character along this road is varied due to the architectural styles and periods of the properties that line it, and their position in relation to the road.



On the eastern side, Snodland Working Mens Club stands out due to its scale and size. It is the first non residential building on the approach to the town centre from the north, and in this respect, acts as a node.



Willowside is a 1980s residential development off Holborough Road, some of which fronts onto the main road, set back behind an open grassed area that contributes to the mixed character. The next row of properties along the eastern side of Holborough Road consists of two attached listed properties. They face directly onto the road with no private frontage, creating an unenclosed character. Although these buildings are an important part of Snodland's history, they are not particularly prominent within the streetscape due to their scale, height and siting which match the adjacent row of Victorian terraces.



Victorian cottages on Holborough Road (eastern side) have painted render frontages, repeated chimney design and hipped brown tiled roofs. The level of modernisation and individualisation is limited to replacement windows and doors and front door portico roofs.



Finally, there is another row of houses of similar scale, siting and height between these Victorian cottages and the urban confines. They are more modern, having been built during the late 1990s and are built of brown brick, with red brick detailing and hipped roofs. Again with shallow front gardens they contribute to the enclosed character here. However, at this point within the urban confines, there is a large and established open space, Willowside that is open on three sides. It is a large informal grassed area that leads to a line of tall mature trees along the by-pass.



View northward along Holborough Road of Snodland Clock Tower which is visible from most areas in the north of the town. The road is narrower here and the provision of on-street car parking can create pinch points at times and contributes to a more enclosed character.

Listed Buildings

72 Holborough Road

Former hall-house now cottage attached to number 74. Timber framed and plastered with hipped plain roof tiles, 2 storeys, 16th century origins with 19th century elevations. Short brick stack to left at junction with No.74 to left. Small oriel at right end on first floor over large lattice window. C20 panelled door to left of this window.



74 Holborough Road

Built circ 1780 added to number 72. Red brick with plain tiled hipped roof. 2 storeys; 2 windows, glazing bar sashes with open boxes under gauged segmental heads on ground floor. Central panelled door in wooden architrave surround. Arched over wreathed and radiating fanlight.



LOCALLY DISTINCTIVE CONTEXTUAL FEATURES

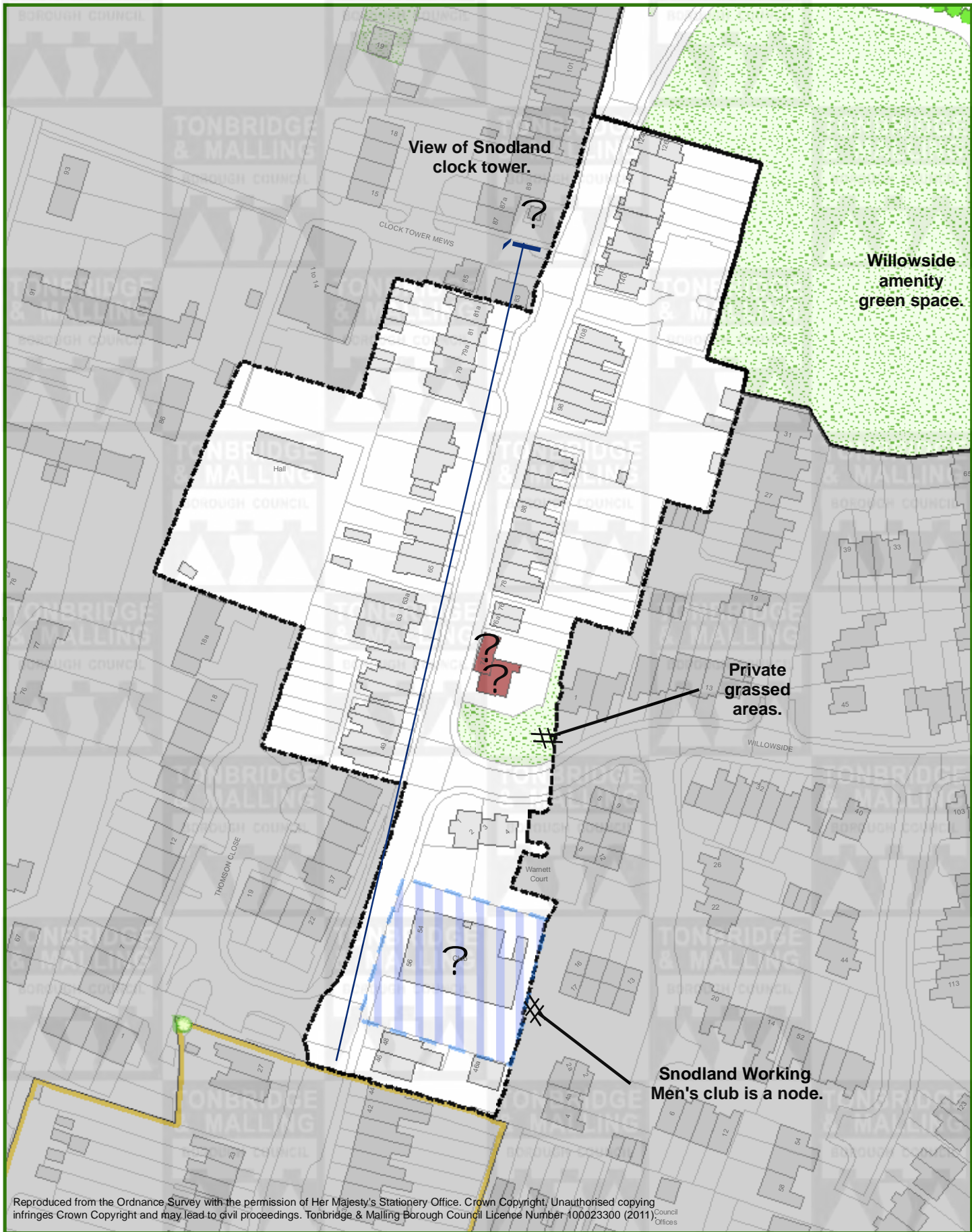
Age of buildings	16 th Century to 1980s but mainly Victorian
Type of buildings	Terraced and semi-detached
Main uses	Residential
Building Heights	2 storey
Prominent building materials	Brown brick with red brick details
Predominant boundary treatments	Enclosed by low brick walls some with iron railings
Open Spaces	None, but views over to Willowside open space

Locally Distinctive Positive Features

- Landmark Building, Snodland Clock Tower
- Listed buildings provide visual interest along the frontage
- Views over Willowside Amenity Green Space over to the tree belt at the by-pass
- Panoramic views of the North Downs

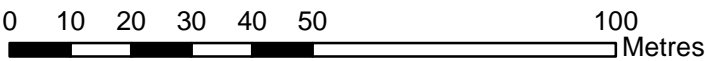
Negative Features Worthy of Enhancement

- Occasional traffic congestion at pinch points
- Noise from traffic



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Council Offices



Ref **A2.1**

Snodland Character Area Appraisal

Title **Holborough Road**



A2.2 – CLOCK TOWER MEWS

Clock Tower Mews is a development of approximately 10 terraced townhouses and a 3 storey block of flats set behind Holborough Road around the Clock Tower. Built in the mid 1990s, the properties are red brick built with brown concrete roof tiles and brown casement windows. The houses are 2 storeys high, with pitched roofs, open front door portico roofs and shallow gardens.



The properties that face onto Holborough Road have grassed front gardens enclosed by a hedge or by a brick wall and an open wooden fence, the houses are at a higher level than the pavement and road. There is no obvious connection between the properties in Clock Tower Mews and the Clock Tower itself. By contrast, the residential units are simple in their architectural style and do not mirror any of the features of the Clock Tower.



The housing built around the back has no green space or landscaped areas of its own, but does look out to the west over to Holborough Quarry. The properties to the rear, behind the main road have little or no soft landscaping. The block of flats has the same red brick and brown concrete roof tiles as the housing, the building has two storey bays that are adorned with brown painted weatherboard cladding and the roof is half hipped.



The Clock Tower itself is not listed but is synonymous with the town and an important landmark for the area. It appears to sit in what is the front garden of the property behind it. Ornate wrought iron railings around it fence it off from the surrounding area.

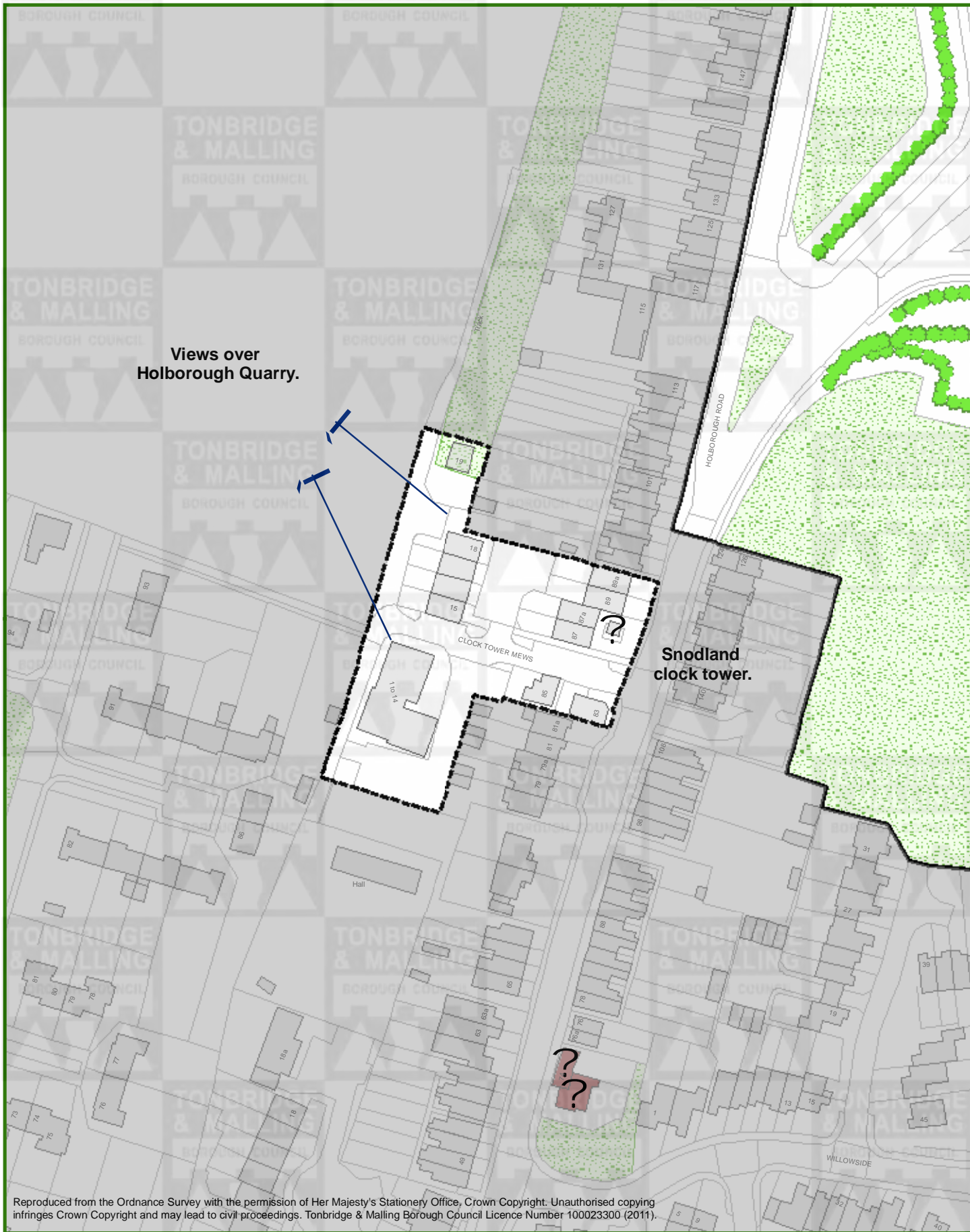
LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	Victorian to 1980s
Type of buildings	Terraced and flats
Main uses	Residential
Building Heights	2-3 storey include dormer windows in roof space
Prominent building materials	Red and brown brick with red brick details, brown concrete roof tiles and brown casement windows
Predominant boundary treatments	Unenclosed frontages except for those facing onto Holborough Road. They are enclosed by retaining walls topped with wooden fencing
Open Spaces	None

Locally Distinctive Positive Features

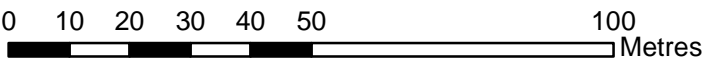
- Landmark building: Snodland Clock Tower

Negative Features Worthy of Enhancement

- A general lack of greenery in the close at the rear



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Ref	A2.2	Snodland Character Area Appraisal
Title	Clock Tower Mews	



A2.3 – THOMSON CLOSE

This small, compact cul-de-sac housing development contains a row of terraced houses that face onto Holborough Road, but the main bulk of this development is set behind, accessed off the main road, in a 'T' shaped cul-de-sac.



Buff brick with brown concrete roof tiles and white casement windows, the properties with Holborough Road frontage have shallow front gardens and are enclosed with low open railings.



The majority of the properties here remain in public ownership which has resulted in a uniform character being maintained. There is very little evidence of individualisation of the properties which have uniform windows and doors. The fronts have shallow open gardens and some landscaping is dotted about the development, providing some colour and interest.

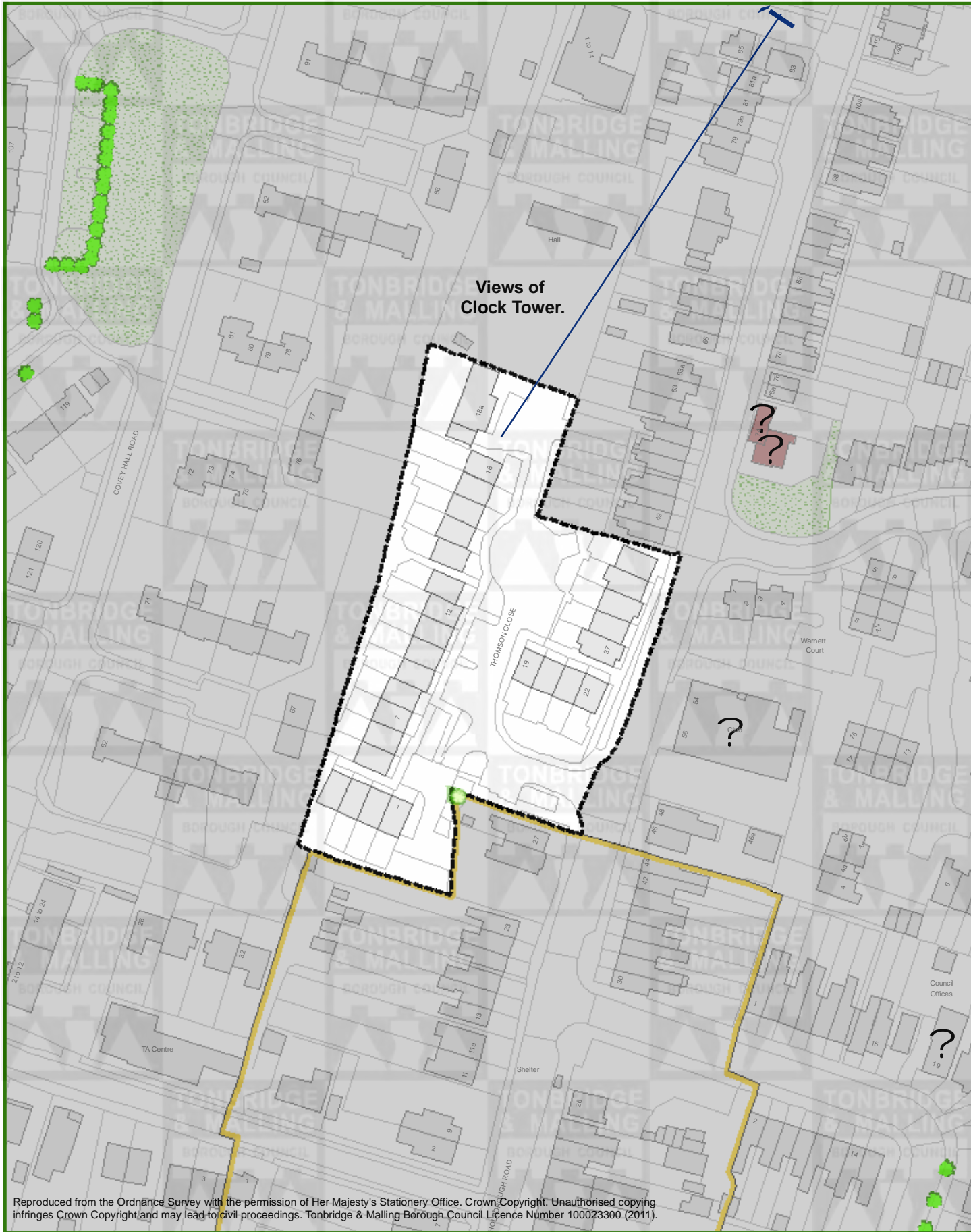
LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	1970s – 1980s
Type of buildings	Terraced
Main uses	Residential
Building Heights	2 storey
Prominent building materials	Buff brick, brown concrete roof tiles and white casement windows.
Predominant boundary treatments	Unenclosed frontages or enclosed by open metal railings where properties face onto the highway.
Open Spaces	None

Locally Distinctive Positive Features

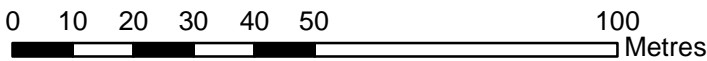
- Uniformity of houses create a distinct character
- Individualisation of properties has been kept to a minimum and this strengthens the identity and character of the area

Negative Features Worthy of Enhancement

- No significant detractors



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Ref	A2.3	Snodland Character Area Appraisal
Title	Thomson Close	



A2.4 – HOLBOROUGH ROAD (NORTH)

Where the building line of Holborough Road ends on the eastern side, with Willowside open space and the road curves off to join the by-pass there is a distinctive break in character. There are buildings only on the western side of Holborough Road on what was the former main road and now ends with a turning circle that leads to a short row of 4 linked semi detached houses set back from the road. Linear and flat, this road has an unenclosed character that overlooks a paddock, lined with trees and shrubs on the eastern boundary.



The properties along Holborough Road at this point are predominantly Victorian terraced cottages with some modern infill and/or redevelopment. Replacement windows, doors, front porch additions and painted render have diluted the otherwise uniformity of the original Victorian character.

Two storeys, some with dormer windows in the roofs creating a third storey, the properties along Holborough Road are constructed in yellow/red stock bricks which have weathered over time. Some have now been covered in painted render. Most have been individualised and modernised with replacement windows and doors and front extensions which has somewhat eroded the original uniformity of the area.

Despite the amount of individualisation which has taken place, some properties have retained original features such as red brick banding and features to lintels above windows and doorways in terracotta patterned brick bands and have retained the original ragstone garden wall frontages.



There are a couple of distinctive short terraces (also 19th century) with narrow arched windows in groups of three with arched dormer windows in the roof.

The front doors have arched lintels and their frontages are painted render or pebbledash creating a specific identity, regularity and uniformity.

The ragstone boundary walls have also been retained.



There are some smaller plots with individually developed or redeveloped properties. This property was originally a pair of Victorian cottages that was redeveloped in the 1970s. These infill and redeveloped properties reflect the architectural style of their day and while they generally respect the roof line and massing of the surrounding buildings, the materials and detailing bear no resemblance which interrupts the uniformity of the area.

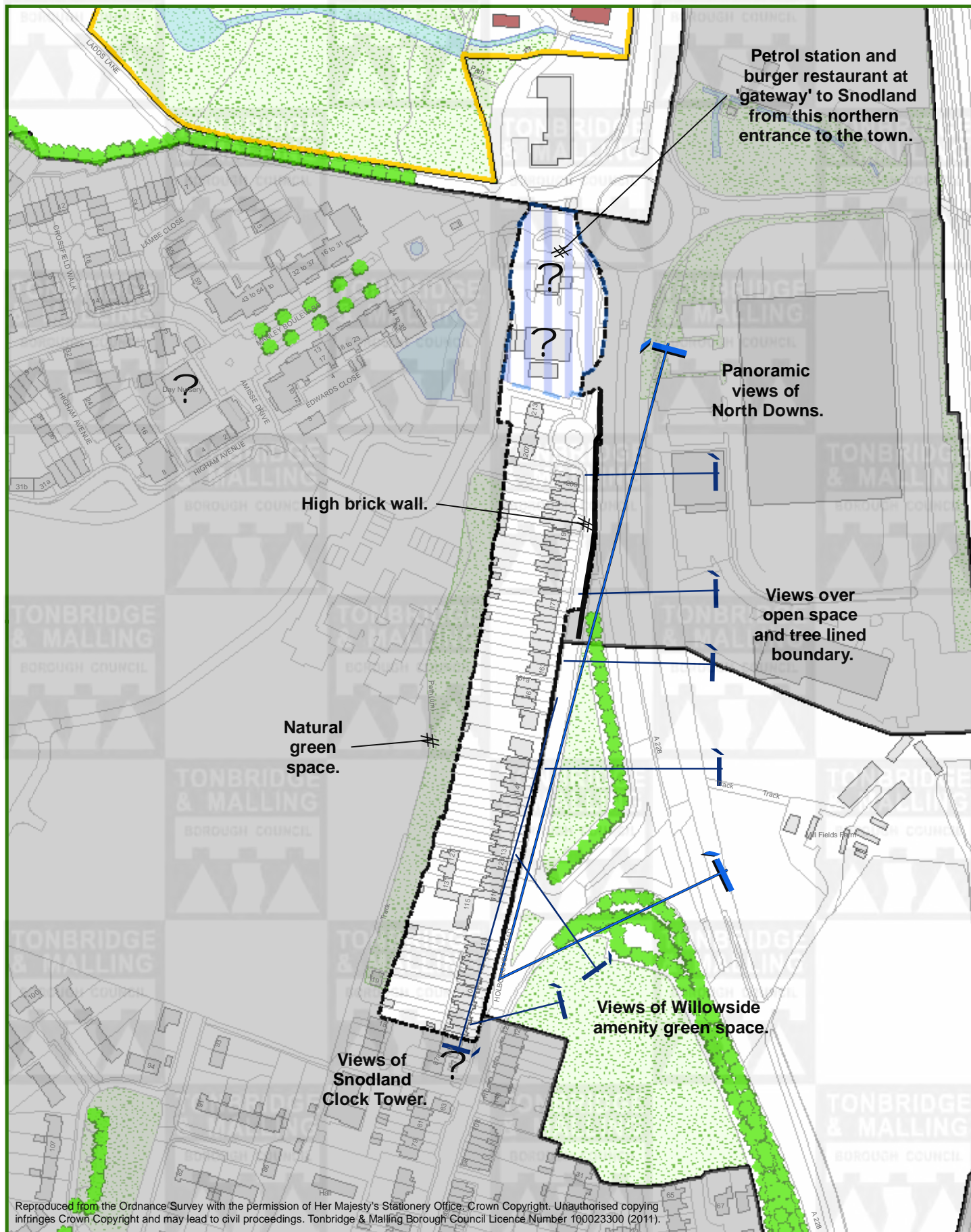
LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	Victorian to 1980s
Type of buildings	Terraced and semi-detached
Main uses	Residential
Building Heights	2 storey with a third in the roof space (dormer window)
Prominent building materials	Red/yellow brick with red brick details
Predominant boundary treatments	Enclosed by low brick or ragstone walls some with iron railings
Open Spaces	None within the area

Locally Distinctive Positive Features

- Views of Snodland Clock Tower
- Views over the paddock and Willowside amenity green space to the tree belt by the by-pass

Negative Features Worthy of Enhancement

- Occasional traffic noise from the by-pass
- Vehicles from Holborough Lakes that cannot be accommodated there are often parked on Holborough Road causing parking congestion at times



0 20 40 60 80 100 200 Metres

Ref **A2.4**

Snodland Character Area Appraisal

Title **Holborough Road North**



B – NINETEENTH CENTURY COTTAGES



Queens Road



Decorative detailed string course
and brick arch on East St.

The pattern of nineteenth century development in Snodland was predominantly linear along the Holborough and Mallings Roads. Then followed pockets of nineteenth century housing off the main roads to the north of the Recreation Ground and on the eastern side of Snodland around the railway station.

Typically, the nineteenth century cottages in Snodland are set on narrow, straight streets, set behind the main thoroughfare near the town centre. These terraced or semi detached two storey houses are set in narrow plots fronting directly onto the road or set back behind shallow front gardens and low brick walls. Often the cottages in a particular street will be of a uniform design giving each street an individual character.

The streets are arranged in a grid pattern with consistent building lines giving a tight knit character with few public open spaces, although street trees provide a contrast to the urban character in some streets.

The buildings are constructed in red or brown brick and (originally) slate roofs with flat fronts or single storey canted bay windows. Arched brickwork or stone lintels span window and door openings. Some properties have simple decorative features including name and date plaques, string courses of contrasting brick and ridge tiles. In terraced properties, the front doors and rear extensions are paired together. The unified, simple roof lines fronting the street generally slope down towards the road and are tiled with clay, concrete or slate tiles. Plain chimneys are centrally placed on the roof ridge. The repetition of details along a constant building line gives the streets a strong rhythm.

The overall effect is intimate with blocks of uniform front elevations creating a strong sense of identity. Although the original sash windows, panelled front doors and roof tiles or slates have been replaced on many properties, intrusive extensions and dormer windows visible from the public realms have generally been kept to a minimum. In streets where the cottages are of a uniform design, the loss of decorative features and unsympathetic redevelopment or additions can harm the rhythm and identity of the street. Alterations to the roofline would be particularly prominent. Since these Victorian streets are narrow and the properties are set close to the road

and each other, there is little off street parking space. As a result of the historic character the pedestrian environment is frequently affected by on-street/ pavement parking and bin storage.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	1850s to early 20 th century
Type of buildings	Semi detached and terraced
Main uses	Residential
Building Heights	2 storey, with some 3 storey
Prominent building materials	Brown, red or yellow brick, slate or brown roof tiles, white painted sash windows
Predominant boundary treatments	Brick walls and railings
Open Spaces	Tight-knit development with few open spaces

Locally Distinctive Positive Features

- Straight streets, narrow plots and similarities in building age, height, materials and design give strong cohesive character and intimate scale
- Repeated designs give an individual identity to each street
- Constant roof line and regular chimneys
- Many decorative features retained and little infill or redevelopment
- Original brick boundaries and narrow front gardens retained on many properties
- In some cases street trees help to soften the predominant brick environment

Negative Features Worthy of Enhancement

- No significant detractors but unsympathetic replacement windows, doors and porches and the loss of original decorative features have disrupted the otherwise cohesive character of the areas

B1 – EAST STREET AREA

Comprising: Brook Street, East Street, May Street and Mill Lane

The East Street character area is a residential area in the east of Snodland with the Conservation Area to the north, the railway line to the east and the by-pass to the west. To the south, there are industrial and commercial premises and beyond the railway line, sits the Townsend Hook Smurfits paper mill.



The street pattern in this area is straight, narrow and short, creating a tight, uniform character typical of nineteenth century development. The properties are predominantly 2 storey terraces constructed in brown brick with red terracotta decorative lintels and string course, with white sash windows and grey slate roofs. Repeated designs and details such as the position of the doorways (which serve two properties), and the chimney designs create a cohesive character along May Street. The fronts are either unenclosed with short patio gardens or enclosed with low black painted metal railings. Over time, individualisation of properties has occurred with replacement casement windows, painted brickwork and satellite dishes.



At the north of May Street, there is a large flint stone house, built in 1874, that is unique in this character area and acts as a local landmark, visual break and point of reference.



The northern part of May Street abuts the conservation area. The properties are older than those at the southern end, with wider dimensions, some with canted bay windows on the ground floors. Most properties are now rendered or pebble-dashed with enclosed frontages with low brick walls or black painted metal railings.

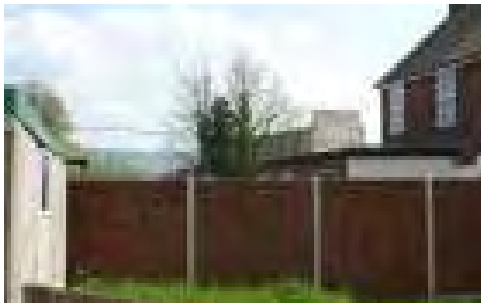
This building at the top of East Street bears no relationship to the design or materials of the Victorian properties in the area and detracts from the otherwise cohesive character of the street.



Running parallel to May Street is Mill Lane, an un-adopted road that is accessible from the High Street. Mill Lane is narrow with a rough road surface providing access to the rear of some properties on East Street and access to six cottages built circa 1930. The openness to the east and south of Mill Lane contributes to a semi-rural character.



These inter-war properties in Mill Lane are built in brown brick with white sash windows and grey tiled pitched roofs. The frontages are shallow and enclosed with low walls and hedges. The lack of a separate footpath and informal road surfacing contribute to a semi-rural character that is further enhanced by the openness that surrounds the area. The surrounding land uses (railway line and car park) are low level uses that do not impact on the character of the area – contributing to the openness at the southern edges.



There are glimpses eastwards from Mill Lane across the paper mill to the North Downs.



Brook Street is an important thoroughfare linking Snodland Station with the rest of the town, the paper mill and the industrial estate to the south (Mid Kent Business Park). It is a busy road used by HGVs and other lorries and faces onto the by-pass along the western boundary. It contains only a few residential properties that are of mixed style, age and materials, including a pair of Victorian cottages that have been rendered with pebble dash, have replacement casement windows and doors and a pitched open roof canopy over the front doors.



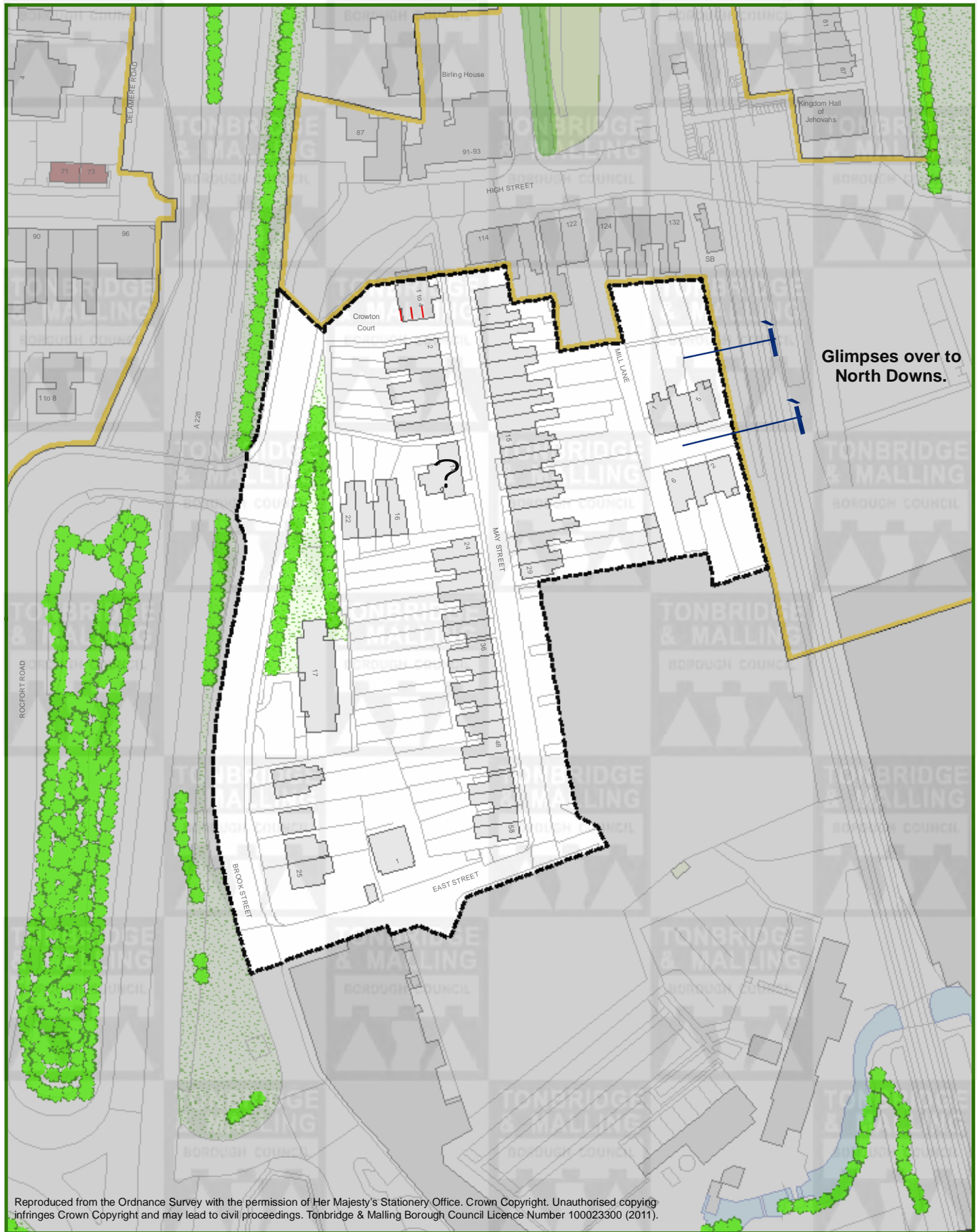
As Brook Street faces the by-pass, there are significant amounts of open grassed areas and trees providing a buffer. Although the by-pass is set below the level of Brook Street at the bottom of a grass embankment outside the character area, the trees, shrubs and bushes contribute to the natural, green character of the area at this point. On Brook Street itself, there is a large bund of trees and hedges that have a natural appearance and screen the backs of the adjoining properties on May Street.

Locally Distinctive Positive Features

- Straight streets, narrow plots and similarities in building age, height and design give a strong cohesive character
- Original features on many period properties have been retained such as decorative string courses, lintels and architraves
- Views from Mill Lane of North Downs
- 1800s distinctive flint stone detached house

Negative Features Worthy of Enhancement

- 1980s building at the north of East Street relates poorly its surroundings



0 10 20 30 40 50 100 Metres

Ref **B1**

Snodland Character Area Appraisal

Title **East Street Area**



B2 – RECREATION AVENUE AREA

Comprising: Bramley Road, Recreation Avenue, Chapel Road, Portland Place and Bullfields.

This character area is set behind Malling Road close to the town centre and conservation area and is set around straight narrow streets. The majority of properties are mid and late Victorian. The smaller Victorian cottages are located in tight narrow streets with limited vehicular access and no separate footpaths. The larger properties were built later and are set along Bramley Road and Recreation Avenue.



Bull Fields and Portland Place have a tight knit enclosed character. The properties are set along a straight narrow road with no separate pavement. The houses are 2 storey terraces constructed in yellow brick with decorative lintels. Originally, the properties would have had white painted wooden sash windows and grey slate tiled roofs. These have now been replaced with white casement windows and the roofs are brown concrete roof tiles. There is a repeated chimney design and the frontages are enclosed with black painted metal railings. Although replacement windows and doors are the norm, additions and alterations that affect the dimensions of the properties, such as this front porch extension shown above have been kept to a minimum, and the uniformity of the buildings has largely been protected, contributing to the cohesive character of the area.



Additions and alterations are predominantly replacement windows and doors, with some loft extensions with velux windows. This helps to maintain the uniformity of the area as dimensions are not altered which contributes to a cohesive character.



The properties on Chapel Road have larger dimensions but follow the same architectural details. The canted bay windows are probably a later edition as the properties would have originally been flat fronted. The properties have short frontages enclosed with black painted metal railings and again no separate footpath from the road, which has a rough and informal surface.



There are glimpses of the North Downs to the west along Chapel Street. The lack of formal highway and greenery from the rear gardens of Bramley Road that back onto Chapel Road create a semi-rural character.

Bramley Avenue is wider and more prepossessing than Chapel Road, Bull Fields and Portland Place. The street is wider, with separate pavement and the properties are larger and more ornate, constructed in red brick with brown/black circular decorative tile stringcourse, stone window lintels and semi-circular stone lintels over the front doors that have integral porches and tiled flooring. White painted wooden sash windows have been replaced with modern casement windows in many properties and the original roofs would have been grey slate tiles. Roofs are now predominantly grey concrete tiles and there are a number of repeated designs such as chimneys and canted bay windows on the ground floor.



Frontages are enclosed with low brick walls with white cap stone and wrought iron railings. The original paths from the front gate to the door would have been tiled, but most have now been concreted over. Some frontages also have high hedges.



Recreation Avenue is at the top of Bramley Road and links the Recreation Ground with Birling Road.

The properties here continue with many of the architectural details and styles found elsewhere in the character area, creating a cohesive character. These repeated details and designs include canted bay windows, chimneys and low brick boundary walls with black metal railings. However, despite these unifying details, many of the properties on Recreation Avenue have been individualised with coloured render and pebble dash, replacement doors and windows, front extensions and various boundary treatments ranging from brick walls to white picket fencing.



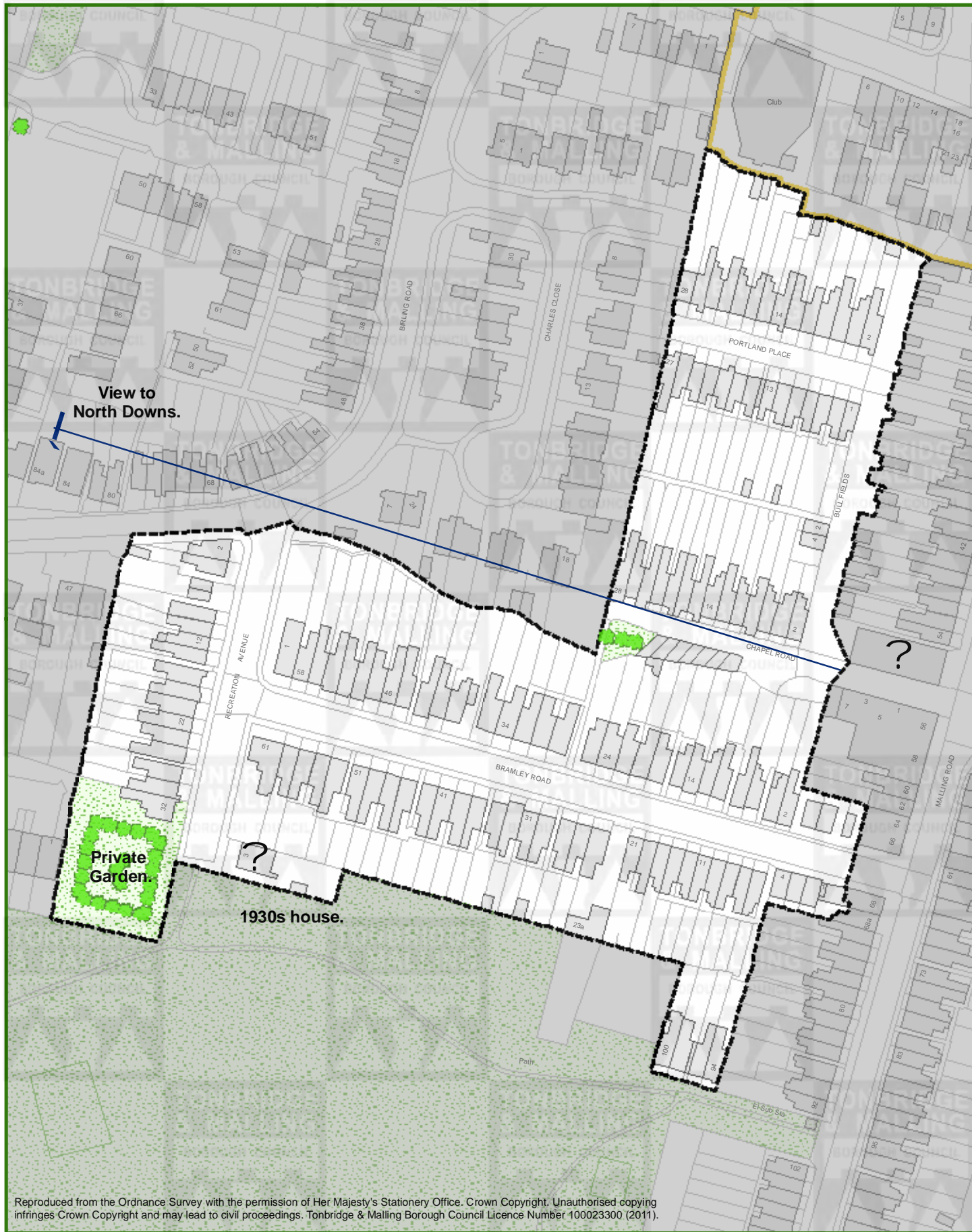
This character area contains Victorian properties and despite their individualisation over time, they all have some features that unify them creating a cohesive character to the area. However, on Recreation Avenue stands a large detached 1930s house, the only non-victorian property in the area, making it a point of reference for the locality, right at the edge of the area as it borders the Recreation Ground to the south.

Locally Distinctive Positive Features

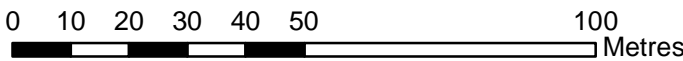
- Straight streets, narrow plots, grid pattern of development giving an intimate and cohesive building line
- Many original features retained such as decorative string courses, lintels and architraves and sash windows as well as iron railings
- Distinctive, linear building lines create strong identity and character
- 1930s detached property

Negative Features Worthy of Enhancement

- Some properties that have been individualised have interrupted the design cohesion and detract from the original character of the area



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Ref	B2	Snodland Character Area Appraisal
Title	Recreation Avenue Area	



B3 – CONSTITUTION HILL/ BIRLING ROAD

Comprising: Constitution Hill and Birling Road.

A residential area set behind the Conservation Area in the town centre, this character area comprises a string of Victorian cottages along the northern side of Constitution Hill and the western side of Birling Road.



Constitution Hill (north side) contains a string of Victorian cottages that have been individualised over time with replacement windows, doors, front porch extensions, satellite dishes and rendering, stone cladding and pebbledash. Originally, these 2 storey terraced properties were brown brick built with decorative lintels and string courses, grey slate tiled roofs and frontages enclosed with low brick walls or metal railings. Despite this individualisation, the roof line and building line remain constant, providing a uniformity of scale and proportion that contributes to a cohesive character to the area.



There are long views west down Constitution Hill to the North Downs.



Along Birling Road, the Victorian two storey terraces have original small half dormer windows in the main roofs creating a third floor. Many of the properties have frontages enclosed with low brick walls and metal railings while other properties along this road front directly onto the pavement. Originally, these properties would have had white painted wooden sash windows and were constructed in brown brick, still exposed. Over the years, alterations have included replacement doors and windows, new concrete roof tiles and front porch extensions and brickwork that has been painted. These alterations interrupt the otherwise cohesive building line and are not in keeping with the character of the area.

Front porch extensions individualise the properties and can interrupt the otherwise cohesive building line



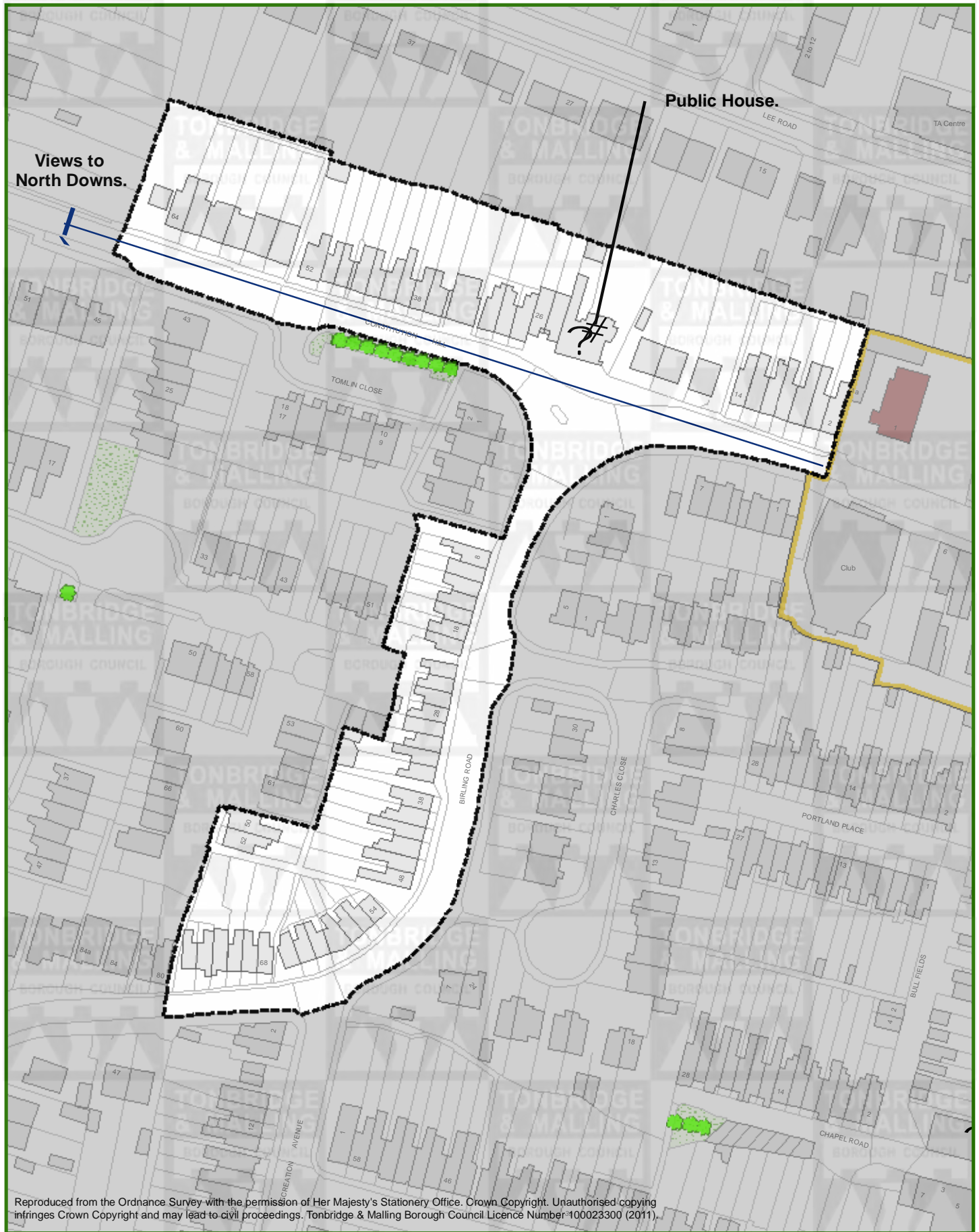
Also on Birling Road, these Victorian cottages have a strong cohesive character because there are no alterations to the dimensions of the properties. The roof line, with repeated chimney design and the building line retain their original character and this uniformity adds to the cohesion and identity of the area.

Locally Distinctive Positive Features

- Strong building line along Constitution Hill and Birling Road creates unity and a cohesive character
- Some original features such as string course and lintels have been retained
- Long view to the North Kent Downs along Constitution Hill

Negative Features Worthy of Enhancement

- Individualisation of properties (for example, modern windows, front porch extensions, rendering) has interrupted the otherwise cohesive character of the area



Ref **B3**

Snodland Character Area Appraisal

Title **Birling Road / Constitution Hill**



B4 – OXFORD STREET

Comprising: Oxford Street.

This small character area is a straight cul-de-sac that leads off to the east of Malling Road near the town centre. The road is a narrow with the two rows of terraces facing each other set deep into the road so that it is completely hidden from view from Malling Road. Off to the north is a small track that provides access to the rear of the houses on Malling Road and to a detached bungalow set behind a high fence with no impact on the character of Oxford Road. With the turning circle at the bottom of the road facing onto the Saltings Road estate, there is nothing visually that would indicate a row of Victorian cottages are here.



It shares many of the same characteristics with other early Victorian cottages in the town and is a narrow straight street of 2 storey terraces with unenclosed frontages or frontages that are very shallow and enclosed with low brick walls and open metal railings. This is a particularly narrow road and at peak times parking can be problematic. This can result in the parked cars dominating the character of the area, detracting from the historic cottages.

Constructed in brown brick, grey slate roof tiles and white painted wooden sash windows, these properties have been individualised with replacement windows and front porch extensions and painted brick or render. The properties would have originally had low brick walls with white cap stone and metal railings at the boundary with the highway, but most of the original boundaries have been replaced and vary from open unenclosed to high brick walls.



Locally Distinctive Positive Features

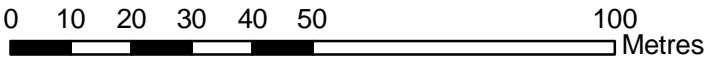
- Some original features are retained, such as stone lintels and iron railings

Negative Features Worthy of Enhancement

- Individualisation of properties has interrupted the otherwise cohesive character of the area
- Poor road surfacing and lack of parking provision results in cars dominating the area



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Ref	B4	Snodland Character Area Appraisal
Title	Oxford Street	



B5 – QUEENS AVENUE AREA

Comprising; Queens Ave, Lambert Mews, Queens Road, Waghorn Road and Delamere Gardens.

This character area sits to the north of the Conservation Area that surrounds it on three sides and is predominantly late Victorian, Edwardian and 1950s with some modern infill. The properties around Queens Road, Queens Avenue and Waghorn Road are predominantly late Victorian/ early Edwardian and despite their mixed age and design, most were built by the same developer, Joshua Wilford, within a period of approximately 30 years.

Edwardian properties in Snodland are few and far between. Following large scale expansion during the Victorian Era, the early 1900s were less significant in terms of growth and development of Snodland. However, the Queen's Avenue area is one part of Snodland that is typically late Victorian/ Edwardian with two unique (former) public buildings. Overall, the character and appearance of the area has been well-preserved with limited modernisation and individualisation of properties.



The site of the former Wilford's Builders Yard is a prominent local landmark in the corner bend of Queens Avenue. It was redeveloped in the 1980s as Housing Association residential accommodation. However, the archway remains from when the site was the builders yard and provides a contrast in architectural style to the more detailed and ornate properties in the area.



Queens Avenue leads from the Conservation Area off Holborough Road and contains a number of late Victorian terraced properties with enclosed front gardens with low brick walls and ornate iron railings, single storey canted bay windows and repeated chimney design. There is limited individualisation of properties with replacement windows, doors and front extensions.



The former Public Baths is an important landmark because it is individually designed and although not listed, it is an important local historic building. It has been converted into a residential dwelling and the original façade has been retained adding to the character of the area. In contrast, the infill development between the Public Baths and the late Victorian terrace is unsympathetic in scale, height and design and detracts from the otherwise historic character of the area.



On the corner of Queen's Avenue and Queen's Road is a small terrace of Edwardian properties that retain many of the original features such as sash windows and white wood spindle detail hanging from the porch roofs and gate and fence iron work. Street trees line Queens Avenue softening the appearance of the area.



Original ironwork gate and fencing on a low brick wall with white painted cap stone, and original tiled path to main entrance.

Many of the original external features have been retained such as the white painted carved barge boards and door pillars. Replacement windows mimic sash window styles and original doors remain.

Along Queens Road, the Victorian terraces are 2 storeys with large dormer windows placed centrally in the roofs and shallow walled front gardens. Although some alterations and individualisation of properties has taken place, for the large part the street retains a distinctive Victorian character. The properties are yellow brick with red brick string courses, arched lintels and architraves and white painted sash windows, grey concrete roof tiles and regular chimney pattern.





The former Fire Station on Waghorn Road is an important local building that now houses Snodland Museum.



The Victorian houses in Waghorn Road are two storey red or yellow brick built with single storey canted bay windows and white painted stone door arches. Originally, the roofs would have been grey slate and the windows, white painted sash windows. Over time, individualisation of properties such as replacement doors, windows and roof tiles and painted render have diluted the historic character of the area.



Delamere Gardens is tucked away in the north east corner of this character area. This cul-de-sac of 1950s semi detached and terraced properties was again built by Wilfords and are set in generous plots set back from the road. Red brick, these houses have red hanging tile details on the upper floors, white casement windows and brown concrete roof tiles. Set in a circular layout with entrance wall feature at the start of Delamere Gardens, the fronts are open with grassed areas and no clear demarcation between public and private space.



Queen's Road. The building on the left is an individualised Victorian terrace, the proportions of which have been completely changed, and the building on the right is 1950s semi detached house set further back than the main building line of the remaining properties which is detrimental to the historic character of the area. The glimpse between these two properties is of a poorly maintained garage block which is a visual detractor for the area.

Queen's Avenue (west side). In this case modern infill development relates more in scale to the character to the area as it reflects some of the details of surrounding historic properties such as brick colour and roof pitch with dormer windows in the roofs of the properties at the back of the site.

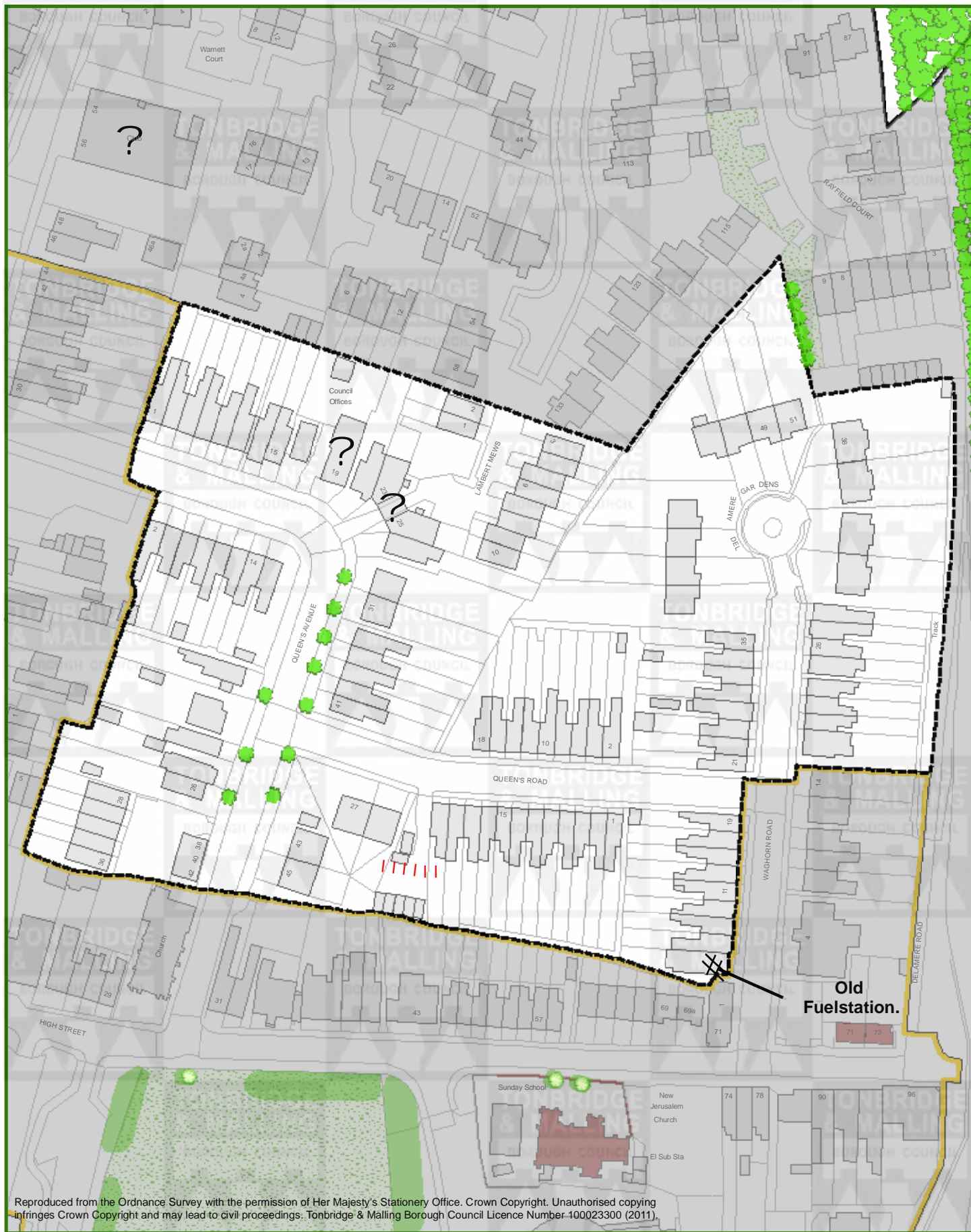


Locally Distinctive Positive Features

- Attractive historic character with a variety of Victorian and Edwardian built properties with some more modern properties create an interesting and varied character
- Landmark building, the former Public Baths now a residential unit
- Landmark building, the arch building on Queen's Avenue that was the Wilford Builders Yard
- Little or no through traffic creating a quiet, private character despite proximity to main road and town centre

Negative Features Worthy of Enhancement

- Some of the older historic properties have been individualised and this has detracted from the historic character of the area
- Some modern development is unsympathetic to its surroundings and detracts from the otherwise cohesive historic character of the area



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0 10 20 30 40 50 100 Metres

Ref **B5**

Snodland Character Area Appraisal

Title **Queens Avenue Area**



C - EARLY PUBLIC HOUSING



The Homes for Heroes Campaign and the Housing Act of 1919 placed a requirement on local authorities to provide housing in an effort to improve the living conditions and health of working people. Snodland has two examples of early housing development and both still retain their distinctive design and character. These early public housing schemes were influenced by the Garden City Movement and were built at medium density which contrasts sharply with the neighbouring tight knit grids of Victorian housing. On these early public housing schemes, the houses are generally built in a vernacular cottage style. These two storey family homes were built in traditional local materials – brick and rendered with wooden casement windows and tiles roofs. Many had small gables or dormer windows.

In Snodland, Covey Hall Road is one example of early public housing. The housing on Lee Road and Woodlands Avenue is another, but was built a little earlier and again includes many of the features common to early public housing development. The ribbon development on Lee Road/Woodlands Avenue is one house deep, facing onto the road in what was previously open countryside at the edge of the town.

The uniformity of design and age of the houses, the consistent colours of the red brick and cream render and the enclosed cottage style front gardens provide a strong sense of identity, differentiating this character area from surrounding development.

The properties are of similar or repeated designs giving the developments a strong identity and recognisable character, distinctive from the housing of later and earlier periods. The houses have gently sloping tiled roofs and wide casement windows.

Properties from this period are usually set back from the road behind enclosed front gardens and often have generous gardens to the rear giving these areas a spacious, green character.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	1920s – 1930s
Type of buildings	Semi detached and terraced
Main uses	Residential
Building Heights	2 Storeys
Prominent building materials	Red brick, white and yellow painted render, brown concrete roof tiles, white casement windows
Predominant boundary treatments	Various: open grassed front gardens, hedging, fencing and brick walls
Open Spaces	Some open space integral to the original design of the development.

Locally Distinctive Positive Features

- Uniform design and scale give strong cohesive character which has largely been retained
- Grass verges and other green open space creates a green character
- Historic significance as early example of 'Homes for Heroes' early public housing and influence of the Garden City Movement
- No through traffic creating a quiet, secluded character despite proximity to town centre

Negative Features Worthy of Enhancement

- No significant detractors

C1 – LEE ROAD/ WOODLANDS AVENUE

Comprising: Lee Road and Woodlands Avenue.

The properties on Woodlands Avenue were built first and those on Lee Road followed later. Lee Road is a straight street that runs from Malling Road in the town centre and Woodlands Avenue is perpendicular to Lee Road connecting it to Constitution Hill.



Lee Road. Built brick semi detached, some with painted render, have brown tiled hipped roofs and repeated chimney designs. The front doors have flat porch canopies and face the street. Small grassed verges are incorporated into the public footpath along the boundary with the front gardens that are generally enclosed with open mesh fencing or tall hedges.



The building line is slightly staggered and the area is framed by a backdrop of mature trees to the north and west of the site along the edge of the urban confines. Some front gardens have been lost to provide off road car parking.



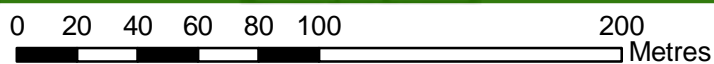
The properties on Woodlands Avenue were built first and have half hipped brown tiled roofs, constructed of red brick with painted render upper floors, repeated chimney designs and quoins. The gardens are generally enclosed although some have been lost to provide off street parking.

Locally Distinctive Positive Features

- Uniform design and scale give strong cohesive character which has largely been retained
- Historic significance as early example of 'Homes for Heroes' early public housing
- Little through traffic creating a quiet, secluded character despite proximity to town centre
- Belt of trees to the east and north east of the site providing a backdrop to the area

Negative Features Worthy of Enhancement

- No significant detractors



C2 – COVEY HALL ROAD (NORTH)

Comprising: Covey Hall Road.

The early public housing on Covey Hall Road comprises semi detached and terraced 2 storey housing in red brick or white painted render set in generous plots with deep front gardens. The properties have front facing gables and pitched roofs in brown plain tiles, red brick chimneys and white framed casement windows. As the ownership of the properties is largely public, the same body has been responsible for maintenance and repair and this has resulted in a continued uniformity of windows and doors and lack of front extensions.

The character of Covey Hall Road has largely retained its original design features of properties set back from the road in generous plots with communal landscaped areas that create a green and open character.



Semi-detached properties are set back from the road with deep grassed verges and enclosed front gardens with low hedges, fences and walls. Front facing gables and chimneys at regular intervals create a uniform character.



There are occasional glimpses through breaks in building line to the east of the North Downs.

In the north east corner of the site, Snodland Clock Tower can be seen with long views of the North Downs to the side.





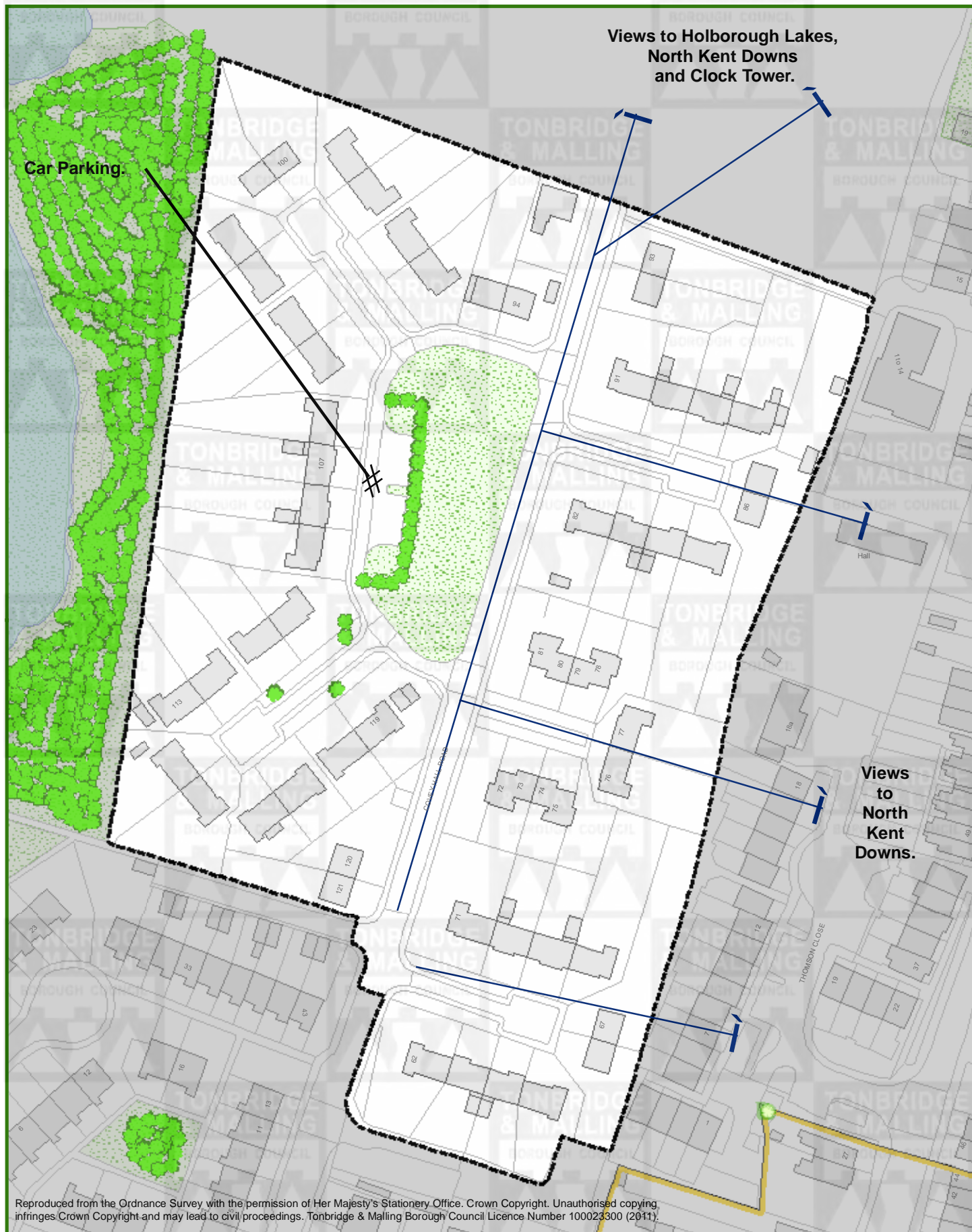
Open amenity green space is an integral part of the original design, with a "village green" on Covey Hall Road and grass verges and trees dotted throughout the development. Just beyond the western boundary is belt of mature trees that frames the area.

Locally Distinctive Positive Features

- Uniform design and scale give strong cohesive character which has largely been retained
- Historic significance as early example of public housing and influence of the Garden City Movement
- No through traffic creating a quiet, secluded character despite proximity to town centre
- Belt of trees around the western boundary of area creates a sense of enclosure and provides a backdrop
- Views of Snodland Clock Tower and the North Kent Downs

Negative Features Worthy of Enhancement

- No significant detractors



D – POST WAR PUBLIC HOUSING SCHEMES



The post war public housing schemes tended to have a distinctive layout and design of housing which gives them a clearly recognisable character. The houses are often built along curved streets and culs-de-sac arranged around grassed areas with treed communal amenity areas. Often set back from the road, the properties frequently face onto the footpaths and open spaces or are set at an angle to the road. The properties tend to be of a simple and symmetric design with pitched roofs, casement windows and deep front gardens. Parking is often provided in garage blocks or on- street.

These character areas have a spacious feel which is enhanced by the mature landscaping, grassed public areas and private gardens. They are generally designed to segregate the houses and pedestrian routes from the street, providing traffic free routes within the character areas and linking with surrounding development.

In Snodland there are four post war public housing developments. These are; Nevill Road/Norman Road, Saltings Road, Simpson Road and the southern part of Covey Hall Road.

One of these, Saltings Road is designed on Radburn principles. This style of development originated in the USA in the 1920s and was intended to make provision for the 'age of the motor car' without giving cars priority over pedestrians. It became very influential in the new town movement in the UK. The housing is generally arranged around a heart of communal open space and is accessed via a network of footpaths which is separated from the road network. The properties front onto the footpaths and open spaces whilst vehicular access is provided to the rear of the properties by short culs-de-sac.

LOCALLY DISTINCTIVE CONTEXTUAL FEATURES	
Age of buildings	1950s – 1970s
Type of buildings	Semi-detached, terraced and some blocks of flats
Main uses	Residential
Building Heights	1-4 storeys
Prominent building materials	Red, brown or buff brick, brown roof tiles, brown and buff hung tiles, cream or white painted render, white weatherboard, concrete and pebbledash
Predominant boundary treatments	Various, unenclosed grassed gardens and enclosed gardens with low brick walls, fencing and hedges
Open Spaces	Small grassed areas within the development

Locally Distinctive Positive Features

- Retention of distinctive original design and informal curved street layout of the planned development
- Repeated building designs give a uniform character and strong sense of place with little harm from unsympathetic additions, alterations or materials
- Front gardens are separated from the public open space by low picket fences, hedges or brick wall boundaries
- Network of green amenity areas overlooked by housing
- Wide verges, mature trees and shrubs in public and private areas contribute to spacious, green character
- No through traffic creates a tranquil character and a sense of containment

Negative Features Worthy of Enhancement

- No significant detractors but replacement doors or windows, on street parking, some loss of front boundaries, storage of bins and telephone wires erode the original character
- Some communal garage blocks in poor condition
- Some poor road and footway surfacing

D1 – NEVILL ROAD AREA

Comprising: Nevill Road, Saltings Road and Norman Road.

The Nevill Road Area is a post war housing estate in east Snodland between Malling Road and the by-pass. The land slopes moderately downwards from west to east, with the properties here set lower than those on Malling Road, but still high enough to afford long views across the eastern boundary to the North Downs and glimpses of the Downs between gaps in the built up frontage along Norman Road and Saltings Road, as well as views westwards towards the trees that line Malling Road.

There is a mix of bungalows, terraced and semi detached houses. The bungalows occupy a small corner in the west of the site, Nevill Place that leads to the 4 storey blocks of flats that line Malling Road and are in Character Area A1.4. Like the rest of the properties in this character area, the bungalows are red or buff brick built with brown roof tiles, chimneys at regular intervals, pitched roofs and white casement windows. Some properties still have red hanging tiles on the upper storey.

The plots are generous with large front gardens and a variety of boundary treatments from deep wide hedges to low brick walls.



Bungalows on Nevill Place, with the flats on Malling Road in the background on higher ground. Open grass verges, street trees and the private gardens and boundary treatments contribute to the green character of the area. Repeated chimney design, white casement windows and materials create a cohesive character to the area although the front of the flats face onto Malling Road and are in a different character area.



The repeated building designs such as chimneys, windows and porticos, give the area a uniform character and a strong sense of place. The sense of place is strengthened by the fact that there are no through roads, and the area has a quiet and contained residential character.



Pair of semi- detached houses on Saltings Road. The one on the right has been individualised but does not detract from the original character because the proportions and building line have been maintained. Overall, the amount of individualisation of properties is limited which contributes to the cohesive character of the area.



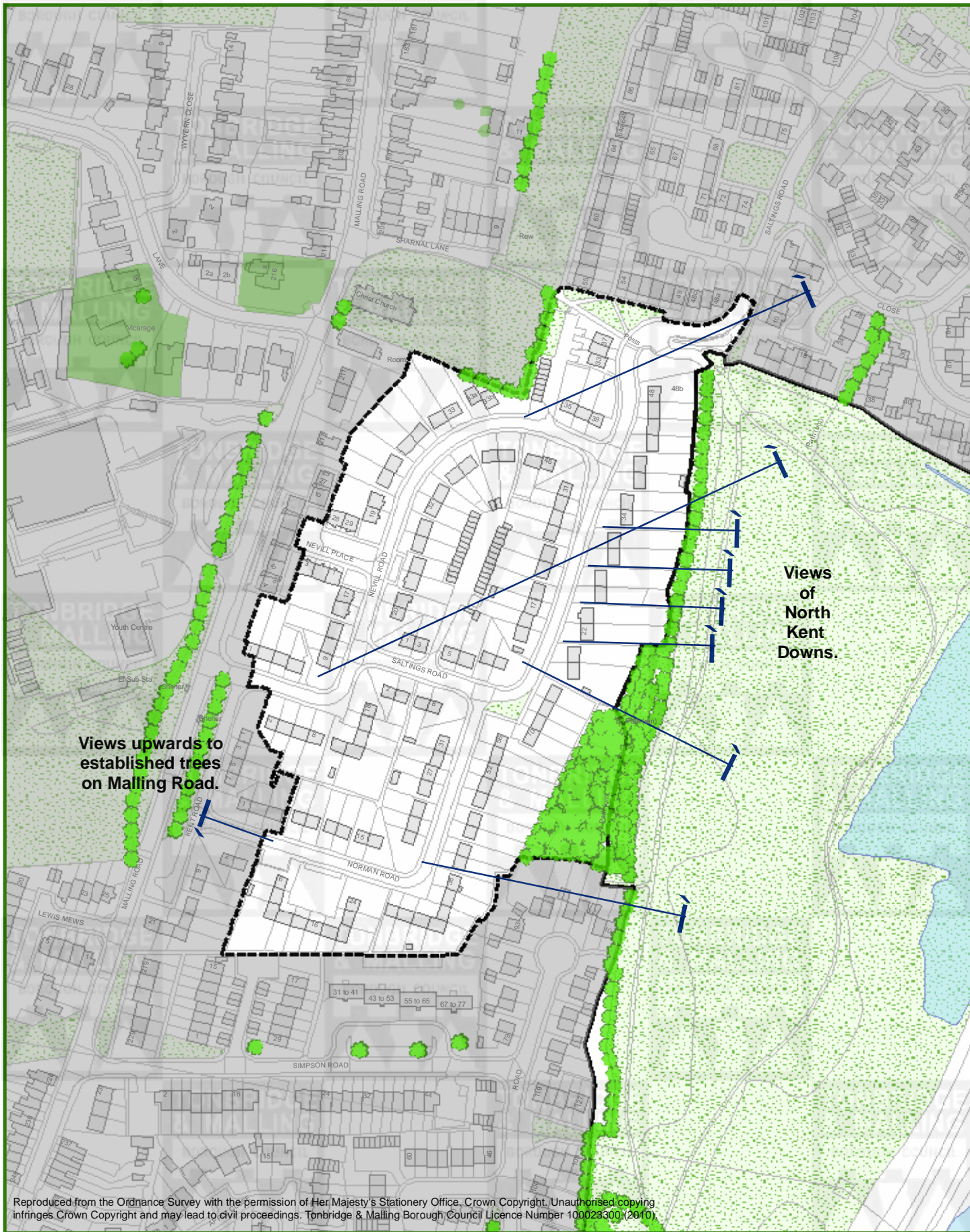
The topography of this character area affords panoramic views eastwards of the North Downs. Along Saltings Road, where there are breaks in the built up frontage, there are also glimpses through to the Downs.

Locally Distinctive Positive Features

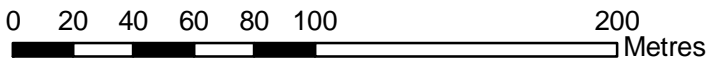
- Repeated building designs give a uniform character and strong sense of place with little harm from unsympathetic additions, alterations or materials
- Wide verges, mature trees and shrubs in public and private areas contribute to spacious, green character
- No through traffic creates a tranquil character and a sense of containment

Negative Features Worthy of Enhancement

- No significant detractors but replacement doors or windows, on street parking, some loss of front boundaries, storage of bins and telephone wires erode the historic character



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Ref	D1	Snodland Character Area Appraisal
Title	Nevill Road Area	



D2 – SIMPSON ROAD (WEST)

Comprising: Simpson Road.

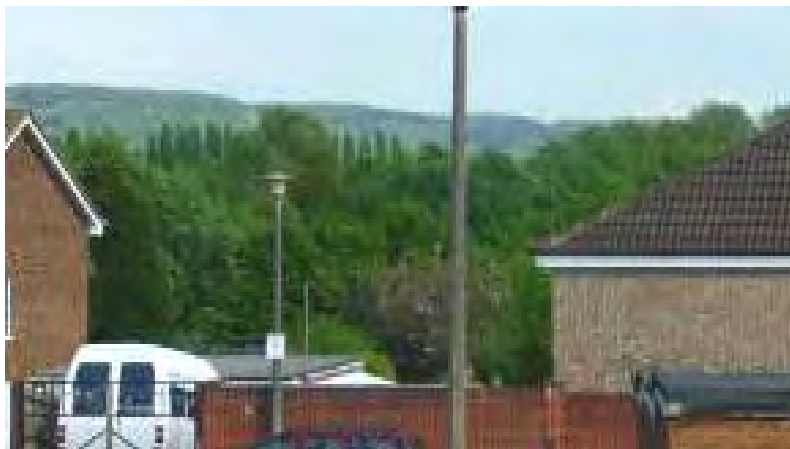
Simpson Road is accessed directly from Malling Road and slopes downwards to three circle head culs-de-sac that together form this road. The properties on Simpson Road are typical of post war public housing, with repeated building design – predominantly 2 storey, buff brick with shallow pitched roofs and white casement windows. There is also a small row of bungalows and a substantial 3 storey red brick block of flats set back from Simpson Road with a large grassed area in front.

Parking is provided on street, but there is also garage court provision which is poorly maintained, particularly the road surfacing. Near the western boundary of the character area sits an electricity pylon and this dominates the surroundings. Its size is significant and dwarfs the properties that surround it, but it is subjective as to whether or not this is a detracting feature.

Simpson Road slopes steeply downwards to the east, and this affords panoramic views from the top of the road over to the North Downs and to the tall tree line that runs along the backs of the houses in the lower part of the character area along the eastern boundary.



Terraced houses on Simpson Rd with electricity pylon in the background. The properties on the right are set around communal green space and combined with the small grassed verges, street trees and open unenclosed frontages, create a soft green character to the area. The electricity pylon is situated in a gap in the building line of the properties on the southern side of Simpson Road dominates the surrounding area.



The views from the higher ground on the western part of the character area affords panoramic views of the North Downs. The tree line in the front background is the tree belt that provides the barrier between the houses and the by-pass.

Locally Distinctive Positive Features

- Cul-de-sac layout reduces through traffic giving a quiet, residential character
- Terraced houses in wide plots set back from the road with unenclosed lawns give a spacious verdant character
- Belt of trees at the eastern boundary and the by-pass provide a backdrop to the houses, and mark the edge of the character area
- Views to the east of the North Kent Downs
- Repeated building heights, design and materials give a strong cohesive character

Negative Features Worthy of Enhancement

- Electricity pylon dominates its immediate surroundings
- Communal garage blocks could be improved
- Some poor surfacing



0 10 20 30 40 50 100 Metres

Ref **D2**

Snodland Character Area Appraisal

Title **Simpson Road (West)**



D3 – COVEY HALL ROAD (SOUTH) AREA

Comprising: Covey Hall Road (south) and Hodgson Crescent.

This character area sits between the early public housing schemes of Lee Road and Covey Hall Road (North). It is a mix of bungalows, 2 storey terraces and 3 storey flats. Design features such as windows, roof pitch and frontages unify the area although there are differences in scale and height.



The bungalows are set in a square around a private communal grassed area with a tall specimen tree. Orange brick built with brown concrete tile pitched roof, the bungalows are set back from the road with shallow grassed frontages that are generally open.



Red brick 3 storey flats with shallow pitched roof and white casement and bow windows. The entrances are covered with short flat white open canopies. The flats are set back from the road in a large grassed plot with open black painted metal railings providing an open character. The grass and shrubs soften the landscape and contribute to the green character of the area.



The buff brick colour and bond, white casement windows, shallow pitched concrete tiled roof and unenclosed frontages unify the 2 storey terraced properties on Hodgson Crescent with the flats and the bungalows in this character area.



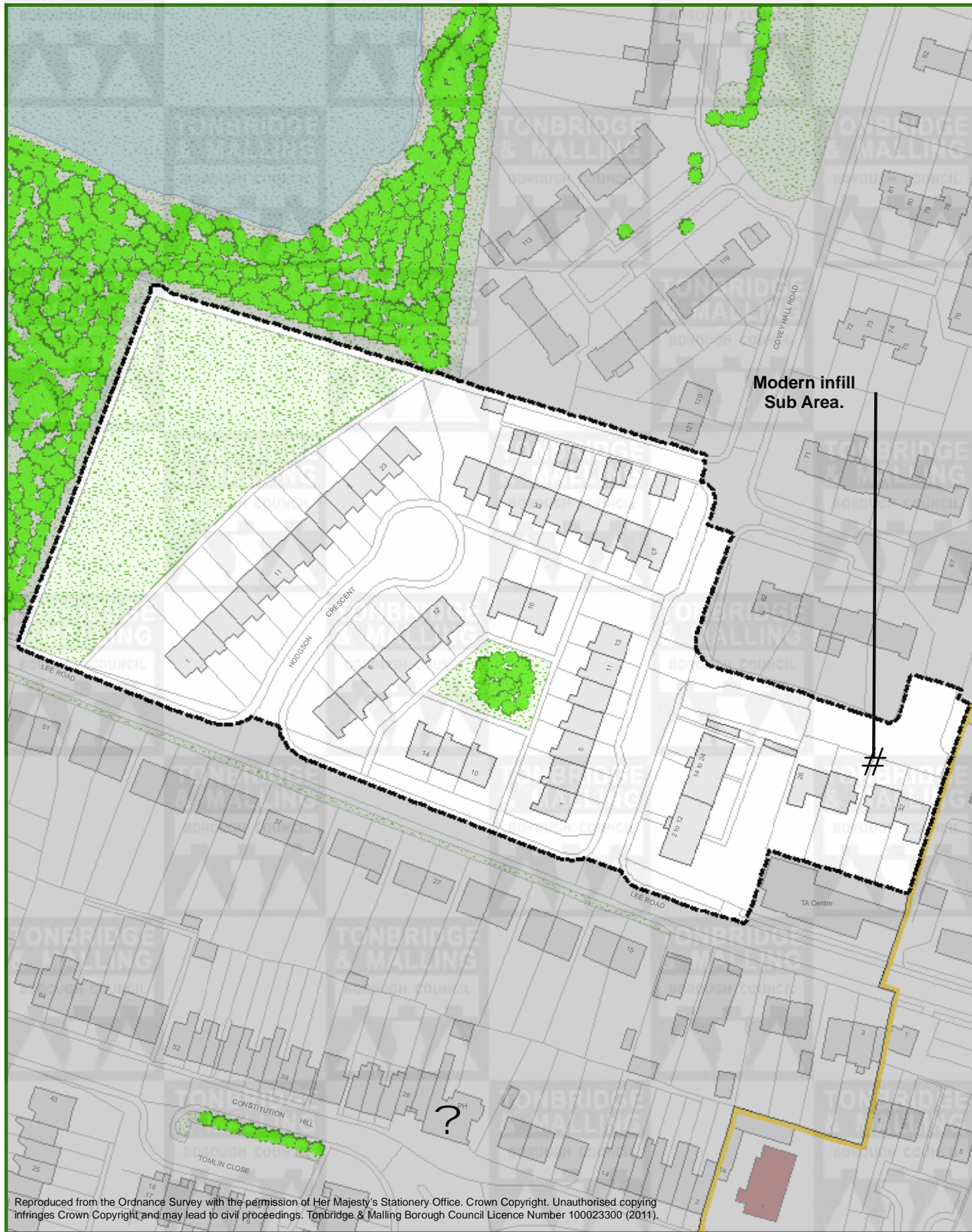
Tucked behind the flats there is a small modern infill development. While the road layout follows the cul-de-sac layout seen in the early public housing development of Covey Hall Road, there is little else to tie this development with its surrounding area. The yellow brick and grey slate roofs, the open pitched front door canopies and front facing gables with hard surface frontages are all design characteristics that do not feature in the immediate surroundings.

Locally Distinctive Positive Features

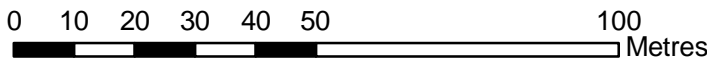
- Cul-de-sac layout reduces through traffic giving a quiet, residential character
- Street trees and communal open grassed areas contribute to a green character
- Repeated building designs and materials contribute to a cohesive character

Negative Features Worthy of Enhancement

- No significant detractors



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Ref	D3	Snodland Character Area Appraisal
Title	Covey Hall Road (South) Area	



D4 – SALTINGS ROAD AREA – RADBURN LAYOUT

Comprising: Saltings Road and Rectory Close.

The Saltings Road character area is designed on Radburn principles. Saltings Road runs north to south from Rocfort Road with culs-de-sac off to both the east and the west. There is no one central communal space but a number of small open grassed areas and the housing is connected by a network of footpaths, with vehicular access kept to the rear of properties from the culs-de-sac where there is parking and garages in blocks.

The area is relatively level with limited views to the North Downs. Between the eastern boundary of the site and the by-pass is a dense tree belt that provides a partial backdrop and visual barrier. At the western boundary is the Birling Lands allotments that are well used and provide more greenery to the area. The houses adjacent to the allotments have uninterrupted views across them.

Along the frontage of the main Saltings Road which provides the vehicular access to the estate, there are 4 blocks of 3 storey flats and in the northwest corner of the character area, there is a small enclave of sheltered housing.



Property fronts are accessible only by the network of footpaths. Communal grassed areas are a key design feature of this Radburn layout.

The housing is predominantly terraced and 2 storey with pitched and mono-pitched grey tiled roofs. Red brick built with white painted rendering and white casement windows although there is some variety throughout the estate in window dimensions. The front doors have flat roofed front entrance canopies and the frontages are generally unenclosed lawns although some have low black painted metal railings.



Property backs with blocks of garages directly accessible from the road. The by-pass is beyond the belt of trees in the background.



Car parking (including the garage blocks) and vehicular access is kept to the rear of the properties with access directly off the main Saltings Road. Whilst this may create an attractive and safe pedestrian access for people within the development, the townscape seen from the road is less appealing with views along the short culs-de-sac of the rear of the properties, high brick walls and garage blocks. The lack of connectivity between the road and the footpath creates a maze-like layout as there are no landmarks and this can make it difficult to navigate for both pedestrians and cars.



Although there is consistency in materials and layout, there are two architectural styles. The predominant style is more traditional as shown above but there is also a selection of more contemporary single-aspect properties, typical of the period in which they were built (1960s) with mono pitched roof and small but symmetrical windows (see right).



The front gardens are shallow and would have originally be fenced off with low black metal railings. Over time, some of the properties have been individualised with the introduction of different front boundaries such as brick walls and fencing and hedges. This interrupts the otherwise cohesive character of the area. Some of the render has been painted other colours such as beige and brown. There are some subtle differences in design between the properties in terms of windows and other detailing such as front porches and cladding detail, but the scale of the houses and the rendering unite them and create a strong sense of character for the area.



Three storey apartment block on Saltings Rd set back from the road with flat roof. Red brick and painted render, the flats are enclosed with the same black painted open metal fence and incorporate grassed areas and trees as found elsewhere in the character area.



The northern boundary of the site is heavily landscaped with mature trees and grassed banks on either side of the road. This gives an enclosed character to the area at this point as it feel separate to the surroundings that are more exposed.



Throughout the character area, there are several grassed areas and street trees that contribute to the green character of the area.



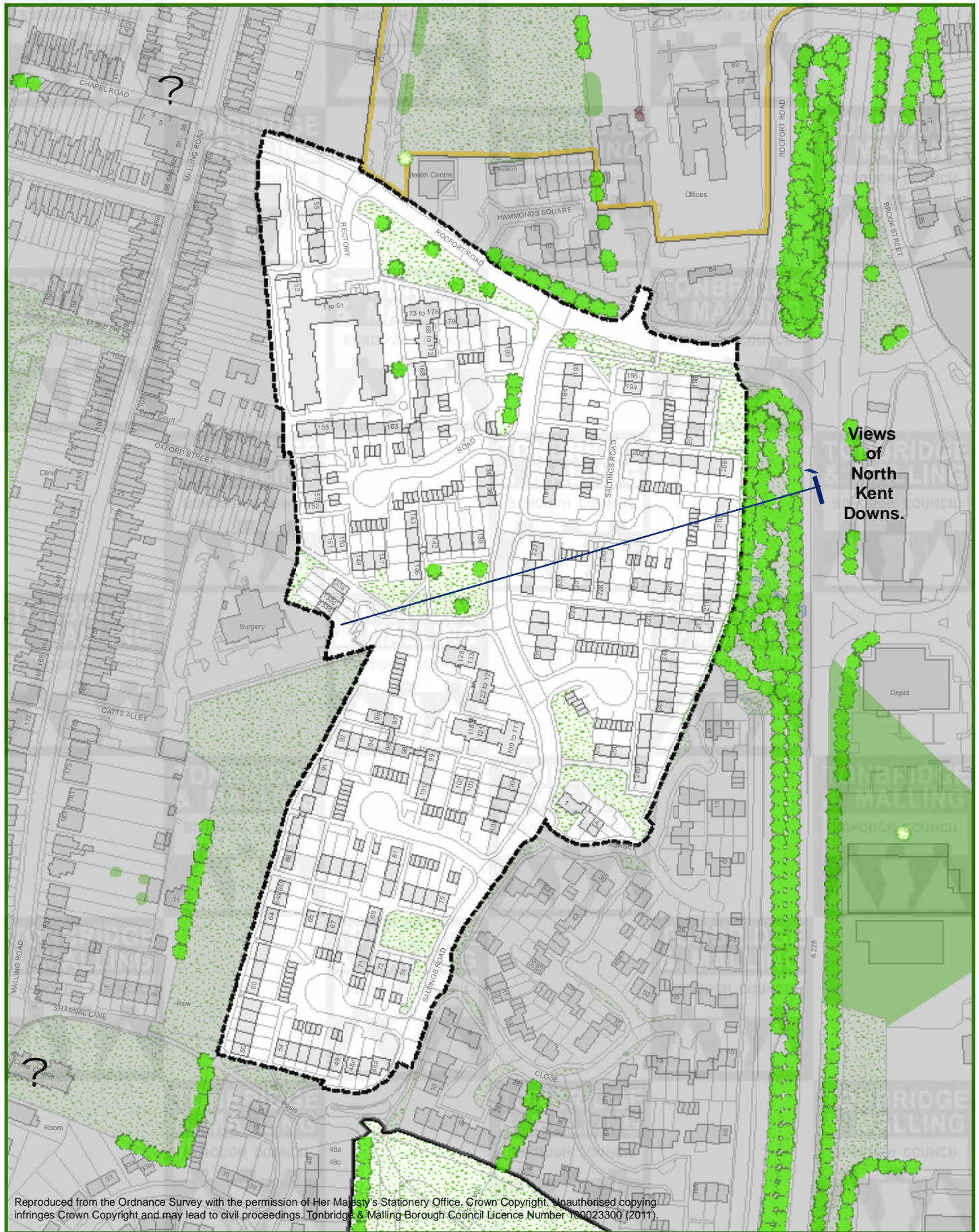
The topography of the area is relatively level but there are long views over the character area to the North Downs in the west.

Locally Distinctive Positive Features

- Traffic free pedestrian network
- The uniformity of building design, colours, details and boundary treatments contribute to the distinctive character of the area
- Extensive public open space
- Views of North Downs

Negative Features Worthy of Enhancement

- Streetscape marred by high brick walls and views of garage blocks



0 20 40 60 80 100 200 Metres

Ref **D4**

Snodland Character Area Appraisal

Title **Saltings Road**



D5 – TOMLIN CLOSE

Comprising: Tomlin Close.

Tomlin Close is a small development of sheltered accommodation for older people and is set around a 'square' set back from Constitution Hill. There is access to Tomlin Close from Bingley Close, and the style of the properties is open plan with open grassed frontages and established trees.



Red brick with grey/brown concrete tiled pitched roofs, these 2 storey properties have white casement windows and front porches with pitched roofs and shallow open grassed frontages. To the front of the properties is a large parking area with herringbone paved surface and a wide grass verge between the parking area and Constitution Hill with a row of established trees that soften the appearance of the area and provide some enclosure to the Close.



Part of Tomlin Close backs onto Birling Road. The rears of the properties include balconies on the upper floors and open patios off French doors on the ground floor. The backs are enclosed by a high open metal fence and are grassed with the cherry blossom trees – the same design of landscape and species as found on Tomlin Close itself.

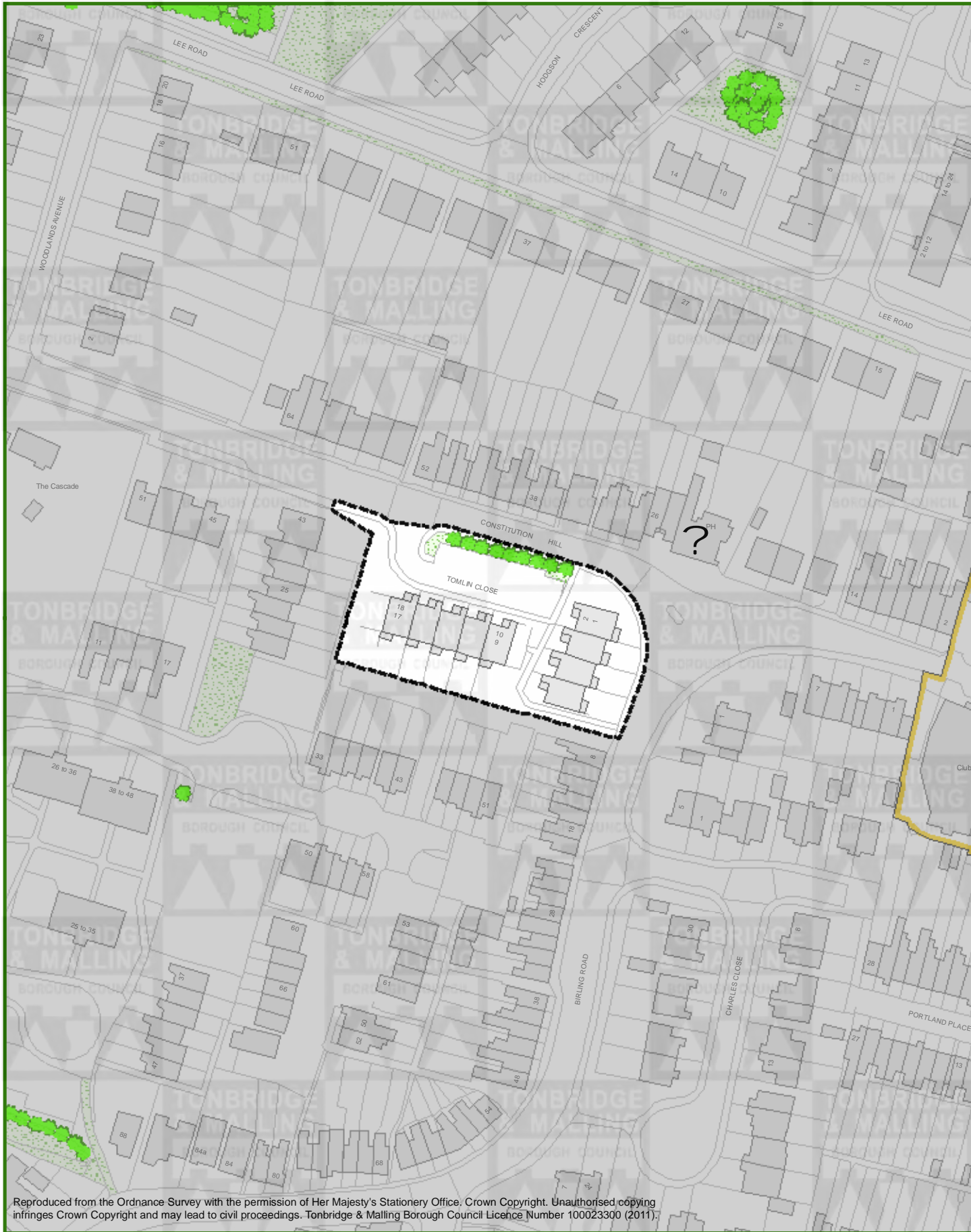
The landscaping and the large windows and balcony provide an active frontage onto Birling Road and the trees unify and soften the character of the area

Locally Distinctive Positive Features

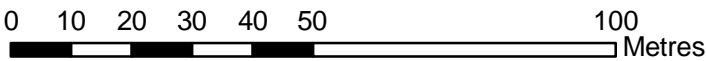
- No through traffic creates a quiet, residential character
- Repetition of design features creates some identity for the character area

Negative Features Worthy of Enhancement

- No significant detractors



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Ref **D5**

Snodland Character Area Appraisal

Title **Tomlin Close**

